

2018
IRC - IBC

2006
IECC

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT (1-800-782-5348)
YAVAPAI COUNTY

2018 IRC R311.3 There shall be a floor or landing on each side of the exterior door. The width of the landing shall not be less than the door served with a minimum distance of 36" measured in the direction traveled.

The inspector may require further clarification on stamped plans. This may include, but not limited to a special inspection and /or a cross section detail stamped and signed by the Designer/Architect/Engineer of record.



*PARCEL:	
*OWNER/APPLICANT:	
PERMIT #:	
PROJECT:	HOME OF MY OWN - 1 BED LEFT (2024 PLANS)

* Information required to be filled out by the applicant.

THIRD PARTY SPECIAL INSPECTIONS REQUIRED:
(Third party special inspections are not in lieu of required building inspections.)

YES



The following items require special inspections:

- SOILS CONDITION
- SOILS COMPACTION
- BOTTOM OF FOOTING COMPACTION
- AND OTHER INSPECTIONS REQUIRED BY THE GEOTECHNICAL ENGINEER.

Reports to be supplied to the Building Inspector

It is imperative that the owner /contractor print ALL permit documents from the online portal before inspection.

CAUTION
Yavapai County permitted building plans do not relieve the Owners or General Contractor from their responsibilities to conform to all adopted building codes. Every effort has been made to provide a thorough plan review, however plans may contain irregularities. If plans do not contain the proper information or details the Owner/General Contractor Shall Not proceed with the project until the issue has been resolved through Yavapai County and any professional involved in the project

Per 2018 IRCR309.1, R309.2, and IBC 406.3.3: Garage/ carport surfaces used for parking of vehicles shall be sloped to drain liquids to the main vehicle entry doorway or an approved drain

Effective April 20, 2006, Fully shielded fixtures are required for all exterior lamps

The mechanical equipment, design and system have been reviewed for the basic design ONLY. The HVAC contractor shall review the plans/ calculations to assure the design is adequate and complies with all applicable codes and installation

Yavapai County Ordinance, Section 112.6 Drainage across Property Lines.
Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be prevented by installation of non-erosive down-drains or other devices.

THE ENGINEERED GEOTECHNICAL REPORT IS A PART OF THE PERMITTED DOCUMENTS, AND SHALL BE ONSITE AT ALL TIMES WITH THE PERMITTED PLANS.

Per Article 210.12 of the 2017 NEC

Arc fault circuit interupters are required

THE GAS PIPING INSTALLER SHALL VERIFY THE SYSTEM IS OF SUCH SIZE FOR THE MAXIMUM DEMAND AND TO MEET EACH APPLIANCE INLET AT NOT LESS THAN THE MINIMUM SUPPLY PRESSURE REQUIRED

CAUTION:
Areas within Yavapai County are likely to have expansive, compressible, shifting or other unknown soils conditions. The building official may require a soils test to determine the soils characteristic at a particular location.

Applicant acknowledges that plans stamped by a registrant will not be fully reviewed by staff and that approvals are contingent upon favorable field inspections. Should conditions in the field prove non-conductive to code requirements, significant delays may be realized. Applicant attests that the sealed plans are in compliance with all applicable codes and ordinances

A separate permit for alternative electric source is required. The alternative electric source permit will need to be issued and finalized before a building final can be obtained

Foam spray shall comply with the ES Reports and applicable codes. It is the responsibility of the owner and/or contractor(s) to review reports and understand requirements before application. Ignition/thermal barrier is required unless otherwise exempt. Failure to comply may cause additional cost to the owner/contractor(s).

GENERAL GRADING NOTES:
Where the lot line walls, slopes, or other physical barriers prohibit 6" of fall within 10', drains or swales shall be provided to insure drainage away from the structure.
MAINTAIN MINIMUM 2:1 SLOPE
The faces of cut and fill slopes shall be prepared and maintained to control against erosion. The protection for the slopes shall be installed as soon as practicable and prior to requesting final approval.
NO GRADING WITHIN 2' OF PROPERTY LINES



The property owner shall be responsible to verify fire sprinkler requirements with the governing fire district

Provide at least one window or exterior door approved for emergency escape or rescue for every room used for sleeping purposes. 2018 IRC R310.1

IMPORTANT!
Footings will not be inspected until the property corners are properly pinned, flagged and easily identifiable to the building inspector.

Interconnected smoke detectors are required for this project per 2018 IRC R314.3.1. Each sleeping room, outside each sleeping room and on each floor level.

APPROVAL IS SUBJECT TO FIELD INSPECTION AND COMPLIANCE WITH ALL RELEVANT CODES, LAWS AND ORDINANCES

RAIN GUTTERS & DOWNSPOUTS ARE REQUIRED

Positive drainage away from the structure is required. Refer to the geotechnical report for an additional requirements

Reviewed for
Design Criteria Only

No slab grade or floor framing inspections will be conducted without compaction reports.

Slab insulation shall be approved for the under slab application. Provide an ES Report and manufacturer's specifications if not using the pre-approved products below:
1. Extruded polystyrene insulation Dow square edge (Blue)
2. Extruded polystyrene Owen corning Foamular 250 (Pink)

Truss calculations to be on site at the time of frame inspection

Per 2018 YCABC Ordinance 2014-1 Section 110.3.4: Pre-slab inspections are required

BIG
STAMP

BOARD OF SUPERVISORS

CRAIG BROWN, CHAIRMAN – DISTRICT 4
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DEVELOPMENT SERVICES
JEREMY DYE, DIRECTOR
MARK LUSSON, ASSISTANT DIRECTOR
WARREN COLVIN, CHIEF BUILDING OFFICIAL

Job no. : 1BM/1BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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COVER SHEET
PHASE TWO – 1 BDRM / 1 BATH – LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:
CS

HOME OF MY OWN
Phase Two
Single-Family Housing
ONE BEDROOM / ONE BATH - LEFT PARKING
for

YAVAPAI COUNTY, ARIZONA
1015 Fair Street
Prescott, Arizona

INDEX TO DRAWINGS

CS	COVER SHEET W/ PROJECT INFORMATION
A-1.0	FLOOR PLANS / OPENING SCHEDULES
A-2.0	FOUNDATION PLANS
A-3.0	ROOF FRAMING PLANS
A-4.0	BRACE WALL PLANS
A-5.0	EXTERIOR ELEVATIONS
A-6.0	BUILDING SECTIONS
A-7.0	DETAILS
M-1	MECHANICAL
E-1	ELECTRICAL

PROJECT INFORMATION

ALL WORK SHALL CONFORM TO ALL YAVAPAI COUNTY ADOPTED CODES, ORDINANCES AND POLICIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2017 NATIONAL ELECTRIC CODE (NEC)
2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

LIVABLE:	576 SQ. FT.
CARPORT/ALT. GARAGE:	257 SQ. FT.
COVERED ENTRY:	96 SQ. FT.
TOTAL UNDER ROOF:	929 SQ. FT.

OPTION WITHOUT GARAGE, OR CARPORT:	
LIVABLE:	576 SQ. FT.
COVERED ENTRY:	96 SQ. FT.
TOTAL UNDER ROOF:	672 SQ. FT.

OCCUPANCY: R-3 (Single-Family Residential)
CONSTRUCTION TYPE: V-B

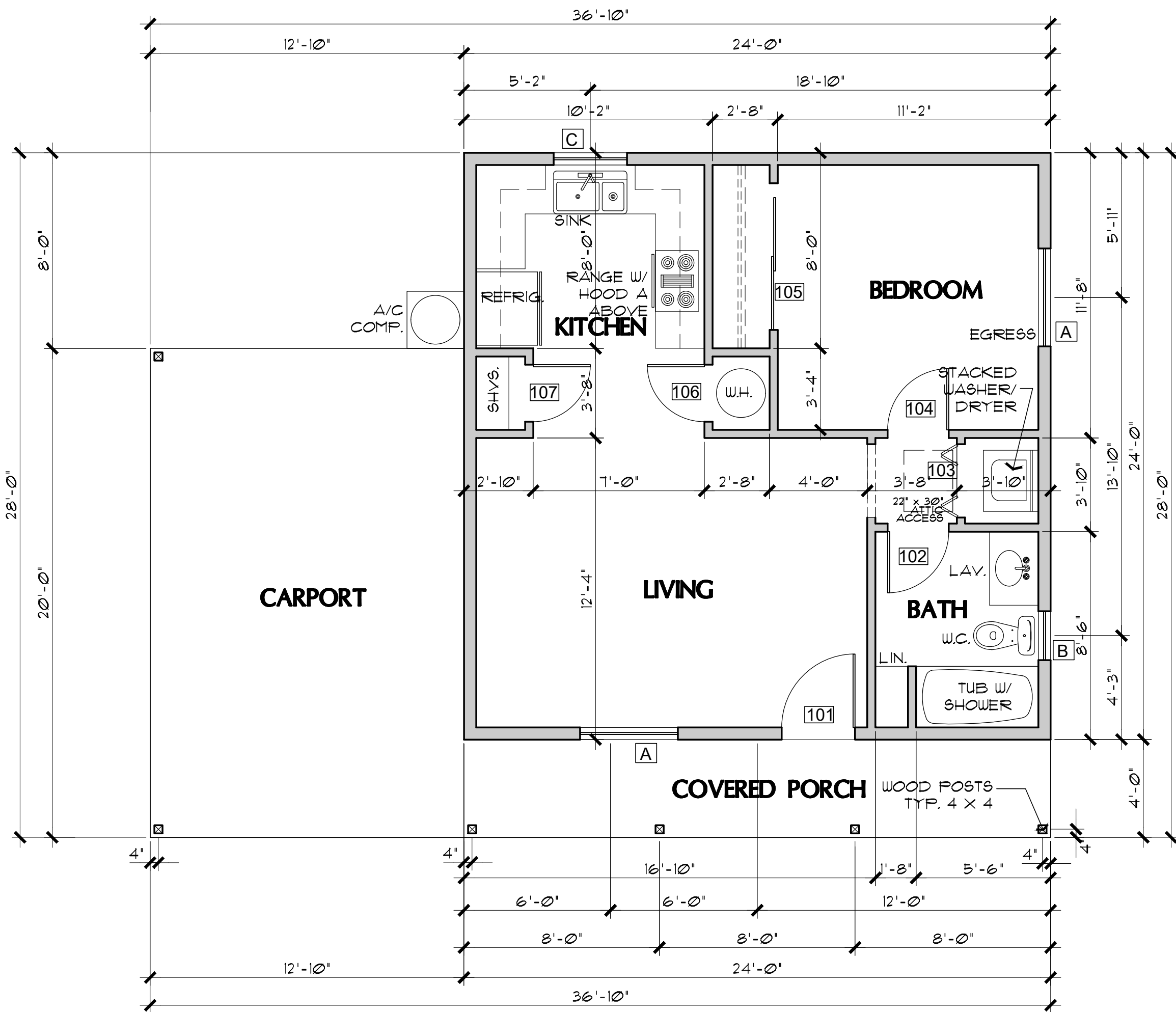
THESE HOMES WERE DESIGNED FOR A MAXIMUM ELEVATION OF 6200 FEET (40 LB. SNOW LOAD). THEY WERE NOT DESIGNED FOR A TILE ROOF.

GENERAL NOTES

- DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE. DIMENSIONS ARE NOT TO BE SCALED FROM THE WORKING DRAWINGS.
- BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK, CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF YAVAPAI COUNTY DEVELOPMENT SERVICES.
- GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.
- GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.
- DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE SAME.
- VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH, REGULAR FINISH WITH NO IRREGULARITIES.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THOROUGHLY REVIEW THE PLANS AND TO NOTIFY YAVAPAI COUNTY DEVELOPMENT SERVICES OF ANY DISCREPANCIES. YAVAPAI COUNTY, NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR MATERIALS IMPROPERLY ORDERED OR INSTALLED.
- FAILURE BY THE GENERAL CONTRACTOR, OR SUB-CONTRACTORS, TO AQUAINT THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR WORK PROPERLY.
- APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION BY YAVAPAI COUNTY PERSONNEL.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW, OR DOOR, FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.

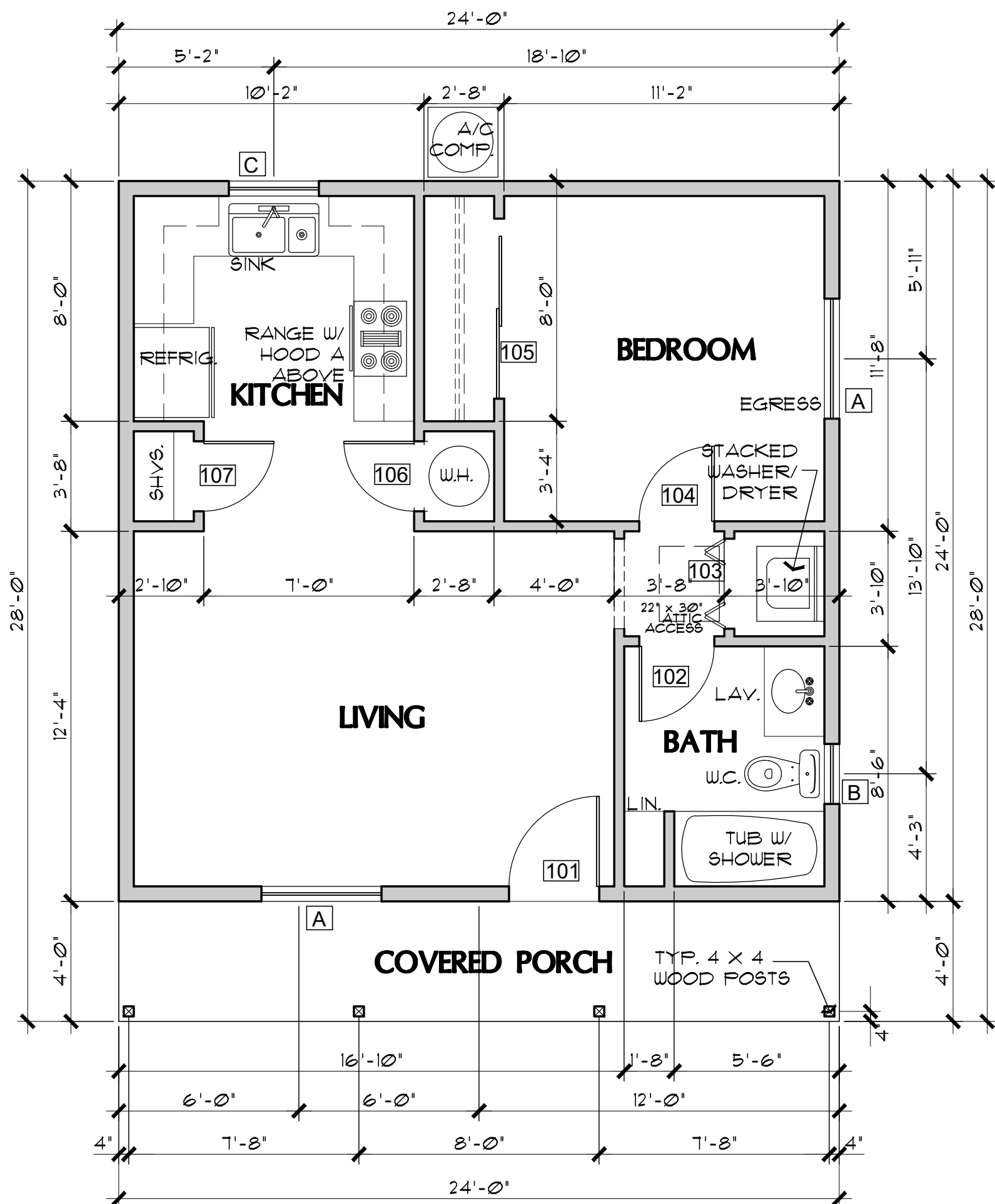
REVIEWED FOR DESIGN
CRITERIA ONLY
SEE ATTACHED COVER SHEET FOR ALL
STAMPS. IT IS THE RESPONSIBILITY OF THE
OWNER/APPLICANT TO REVIEW AND
ACKNOWLEDGE APPLICABLE STAMPS.

PROPERTY OF YAVAPAI COUNTY, AZ



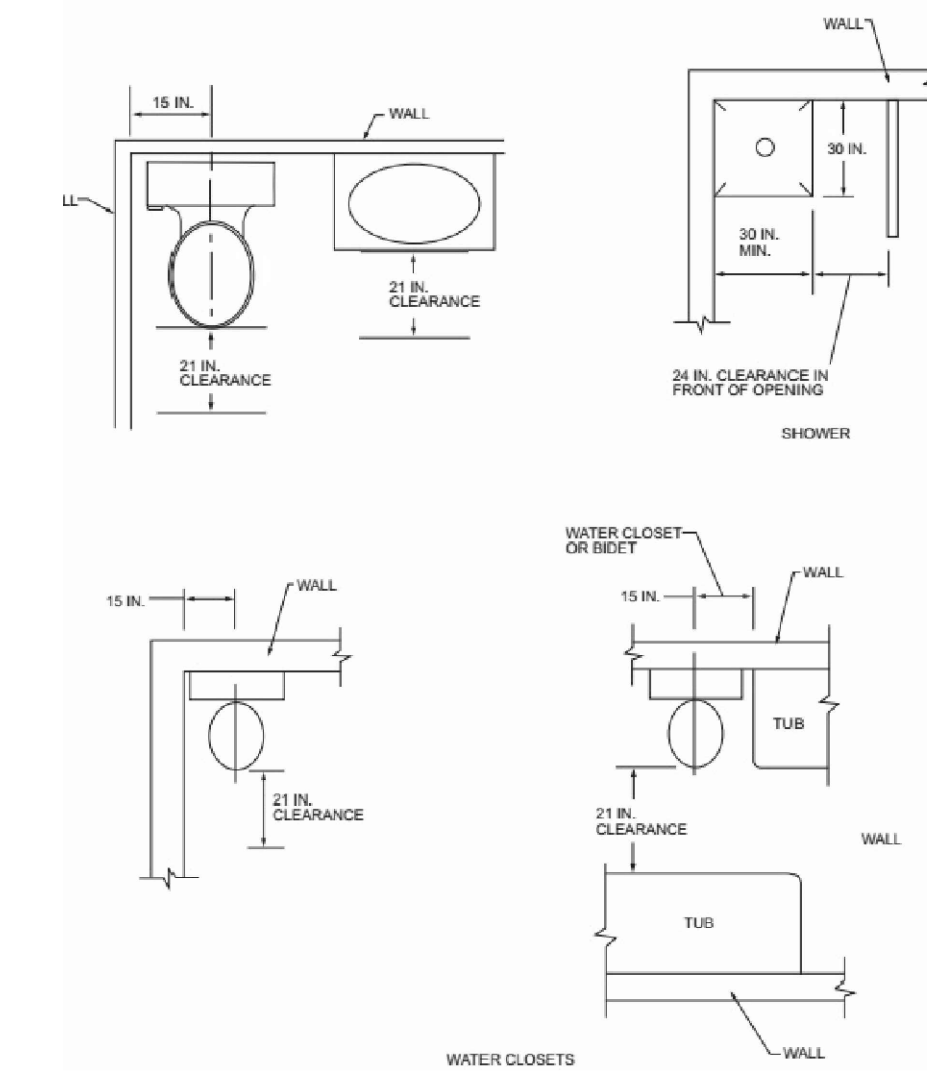
FLOOR PLAN (with Carport option)

SCALE: 1/4" = 1'-0"



FLOOR PLAN (without Garage or Carport)

SCALE: 1/4" = 1'-0"



PLUMBING FIXTURE CLEARANCES

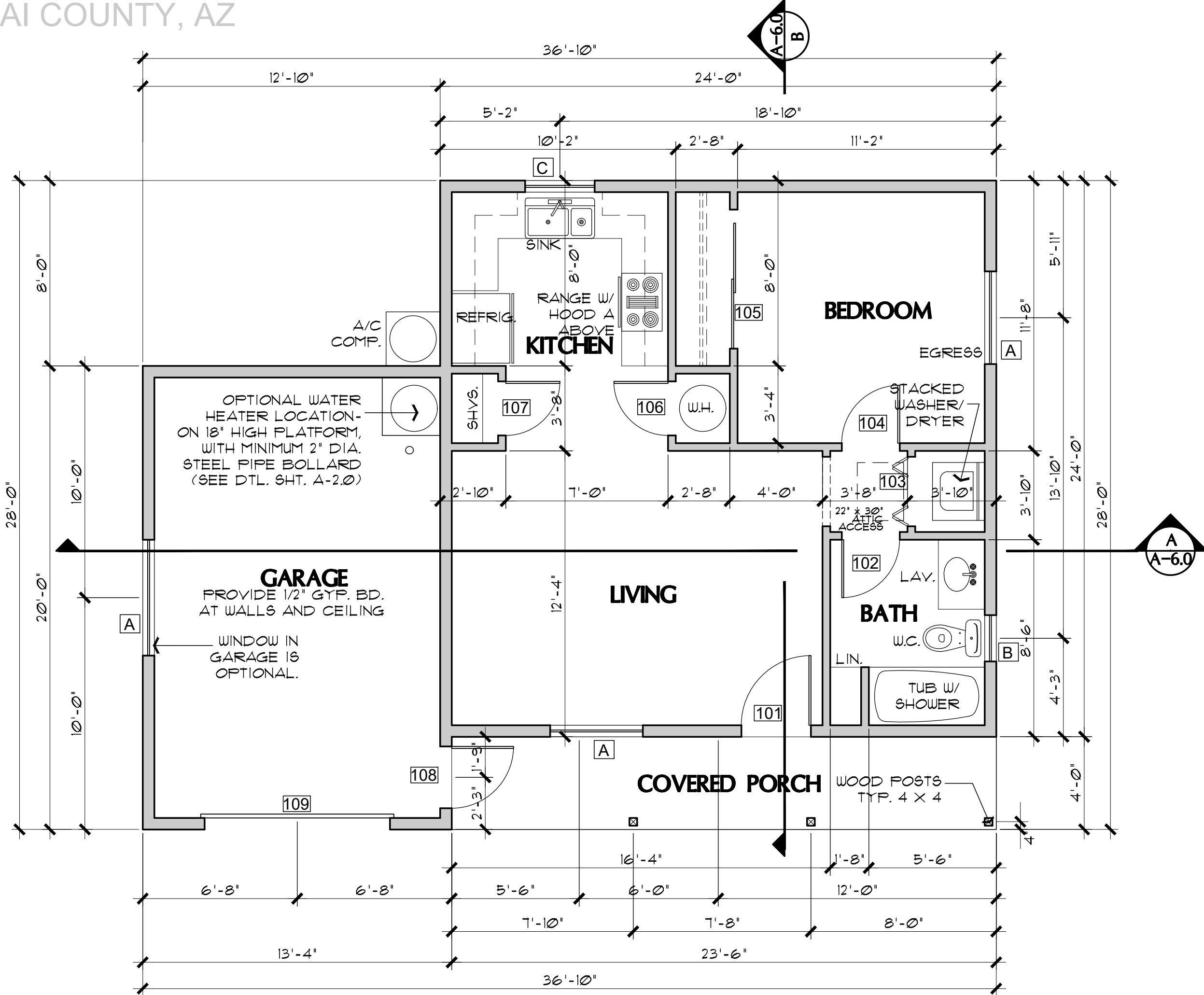
NO SCALE

PER IRC FIGURE R307.1

WINDOWS SHALL BE VINYL FRAME
MAX. U-FACTOR: 0.40
(OPTION TO ELIMINATE FOUNDATION
INSULATION IF USING 0.32 OR BELOW
U-FACTOR)

NOTE: FENESTRATION IN ZONE 2 (ELEVATIONS BELOW 3500 FT.)
SHALL HAVE A MAXIMUM U-FACTOR OF 0.75, AND A
MAXIMUM FENESTRATION SHGC FACTOR OF 0.40.
FENESTRATION IN ZONE 4 (ELEVATIONS 3500 FT. AND ABOVE)
SHALL HAVE A MAXIMUM U-FACTOR OF 0.40. THE SHGC
FACTOR IN ZONE 4 IS NOT APPLICABLE.

PROPERTY OF YAVAPAI COUNTY, AZ



FLOOR PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

DR. #	SIZE			DOOR TYPE	REMARKS
	W.	H.	T.		
101	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	
102	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
103	3'-0"	6'-8"	1-1/8"	INTERIOR BI-FOLD	
104	2'-8"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
105	6'-0"	6'-8"	1-3/8"	SLIDING BI-PASS	
106	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	IF USING GAS WATER HEATER, PROVIDE 12" X 12" VENTS, ONE AT THE TOP, AND BOTTOM OF DOOR
107	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
108	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	
109	8'-0"	7'-0"	-	OVERHEAD GARAGE DOOR	

WINDOW SCHEDULE (8' plate height)

WIN.	SIZE	TYPE	REMARKS
A	4040	XO	EGRESS AT BEDROOM
B	2030	SINGLE HUNG TEMPERED	
C	3030	XO	

WINDOW SCHEDULE (9' plate height)

WIN.	SIZE	TYPE	REMARKS
A	4050	XO	EGRESS AT BEDROOM MUST HAVE MAX. 44" SILL HEIGHT ABOVE FLOOR
B	2030	SINGLE HUNG TEMPERED	
C	3030	XO	

Job no. : 1BM/1BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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FLOOR PLANS /
OPENING SCHEDULES
PHASE TWO - 1 BDRM / 1 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

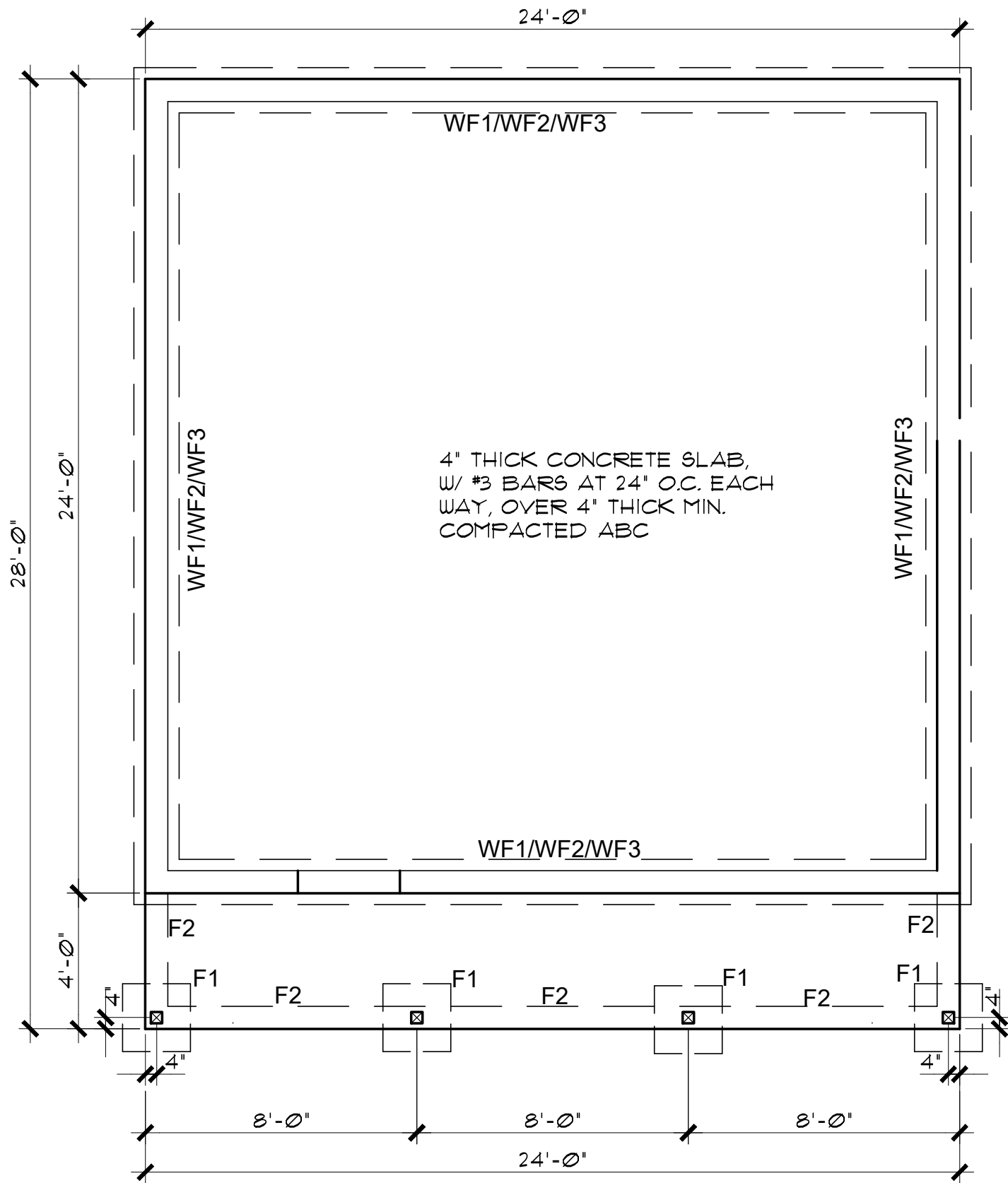
1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

A-10

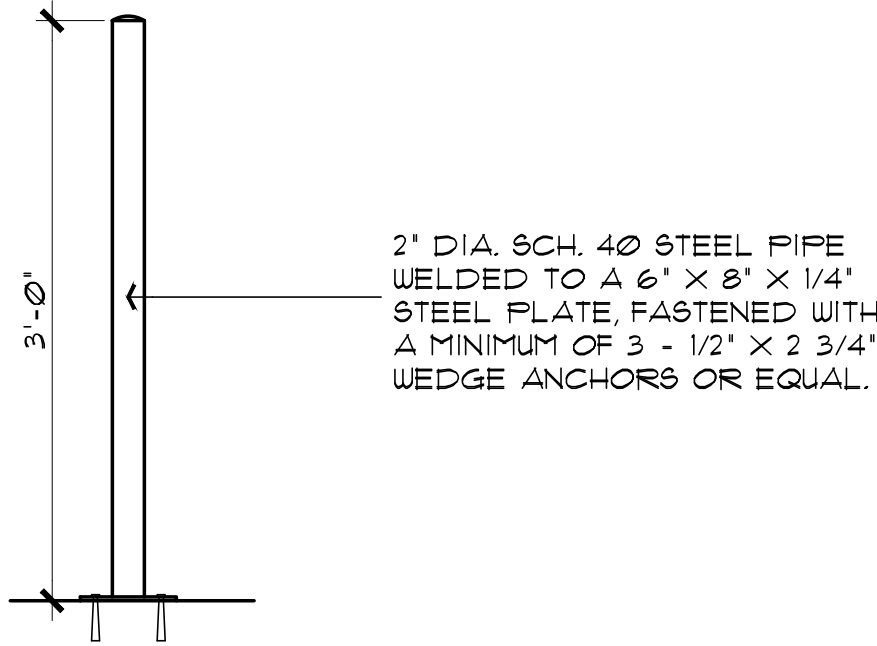
PROPERTY OF YAVAPAI COUNTY, AZ

PROPERTY OF YAVAPAI COUNTY, AZ



FOUNDATION PLAN

SCALE: 1/4" = 1'-0" (without Garage or Carport option)



BOLLARD DETAIL

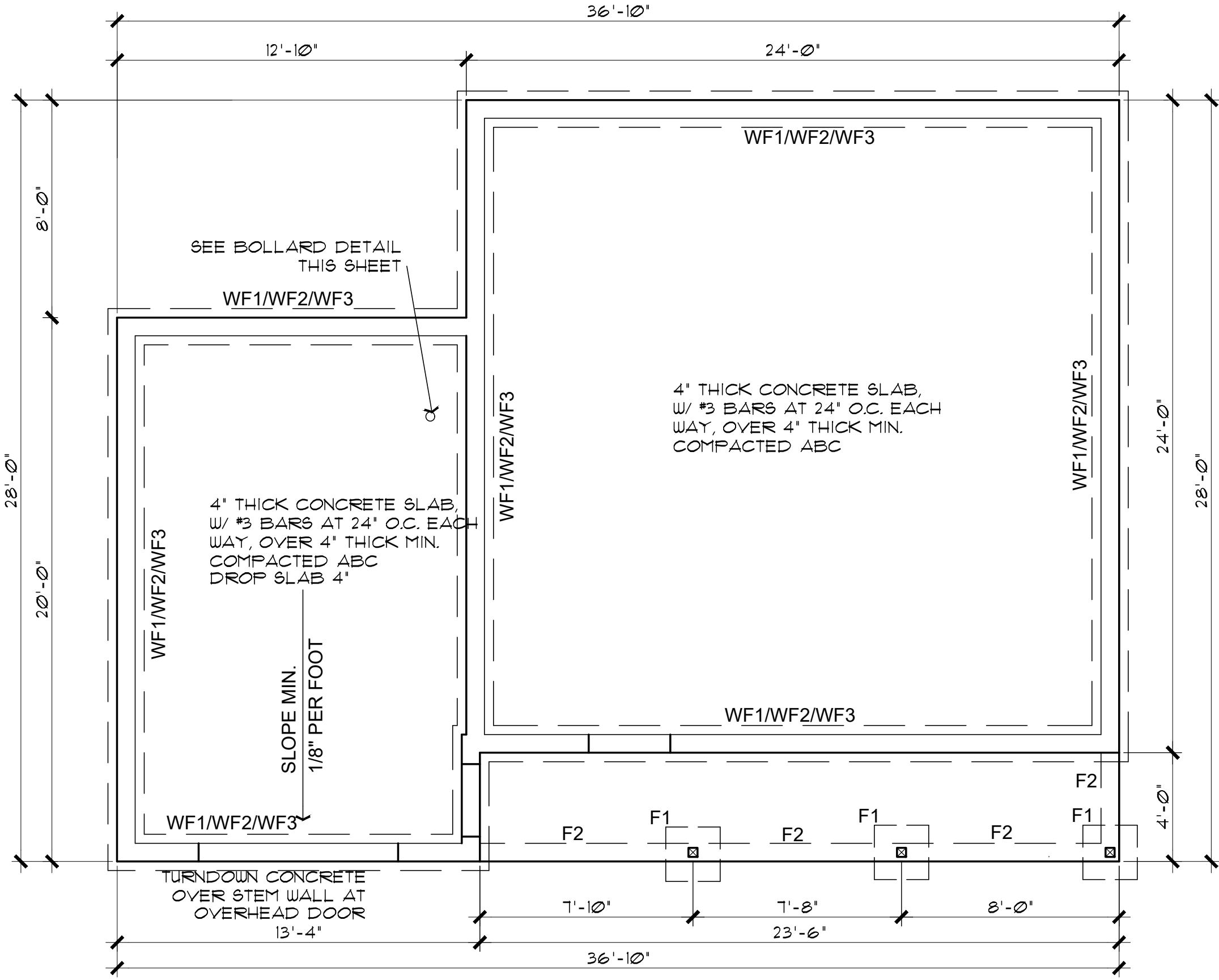
SCALE: 1" = 1'-0"
THIS DETAIL APPLIES ONLY IF LOCATING
THE WATER HEATER IN THE GARAGE.

NOTE: THE FOOTINGS SIZE, THICKNESS, AND BOTTOM OF FOOTING DEPTH SHALL BE PER THE GEOTECHNICAL REPORT/ENGINEER'S REQUIREMENTS. THIS SHALL INCLUDE ANY OVER EXCAVATIONS, ENGINEERED PAD REQUIREMENTS, AND/OR A CHANGE IN DEPTH, AND TYPE OF BASE COURSE UNDER THE CONCRETE SLABS.

SEE FOUNDATION DETAILS SHEET A7.0

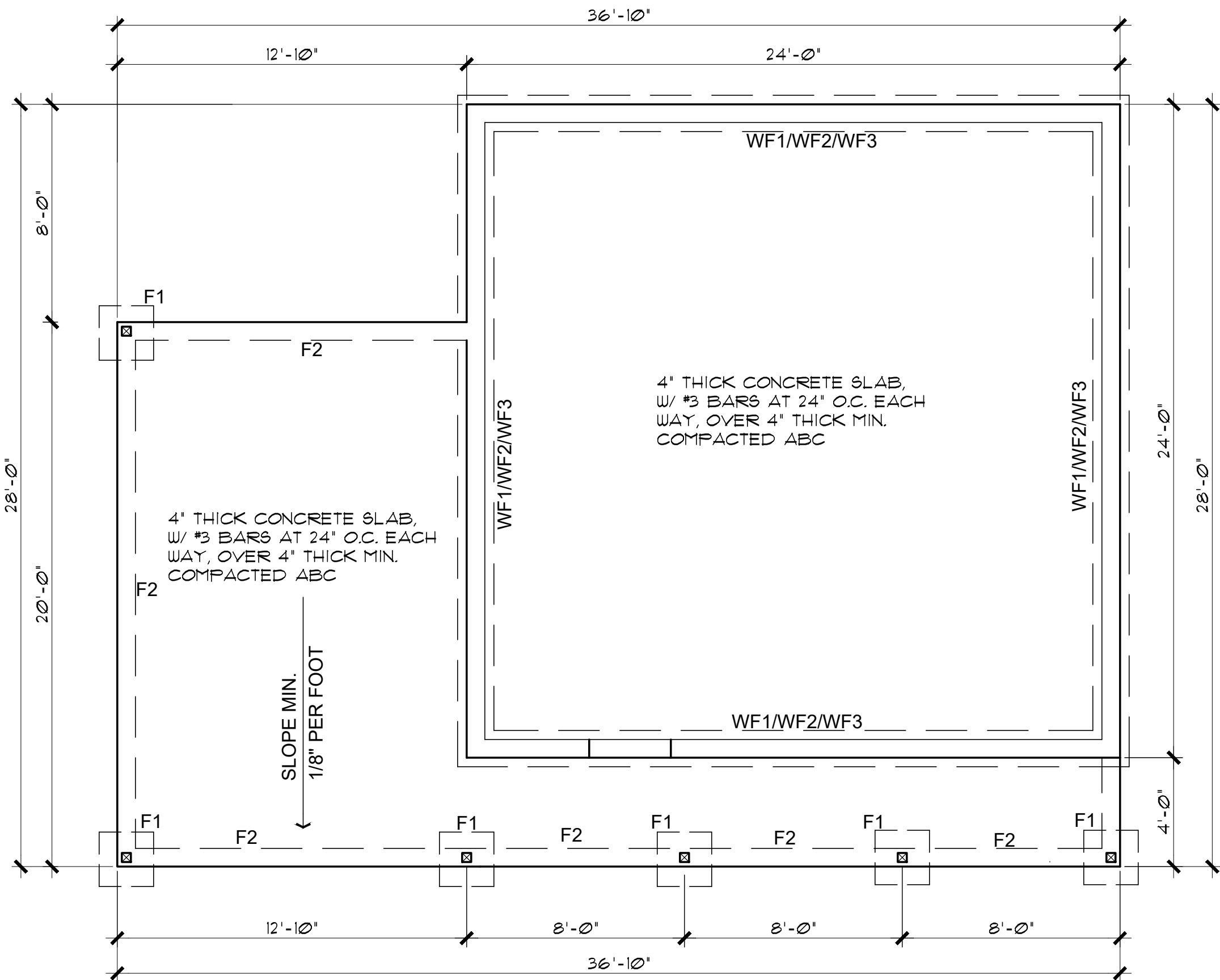
FOUNDATION NOTES

1. FOOTINGS TO BE A MIN. OF 8" THICK IN 18" MIN. UNDISTURBED SOIL.
2. FOOTINGS AND INTERIOR FLATWORK TO BE MIN. 2500 P.S.I. MIN COMPRESSIVE STRENGTH AT 28 DAYS.
3. FOUNDATION SUPPORTED WOOD TO EXTEND MIN. 6" ABOVE FINISH GRADE
4. FOUNDATION PLATES AND SILLS SHALL BE BOLTED TO FOUNDATION WITH MIN. 1/2" BOLTS 6'-0" O.C., 12" FROM CORNERS AND EMBEDDED 7" INTO FOUNDATION WALL
5. EXTERIOR FLATWORK SLOPE TO BE 1/4" PER FOOT.
6. CONTRACTOR TO EMBED 20' OF #4 G.A. COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND.
7. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
8. ALL EXTERIOR PLATES, LOAD BEARING AND NON LOAD BEARING SHALL BE PRESSURE TREATED, LESS THAN 8" ABOVE GRADE
9. FILL BEING PLACED THAT EXCEEDS 2' WILL REQUIRE A CERTIFIED COMPACTION TEST AND REPORT.



FOUNDATION PLAN (with Garage option)

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

Job no. : 1BM/1BA LEFT
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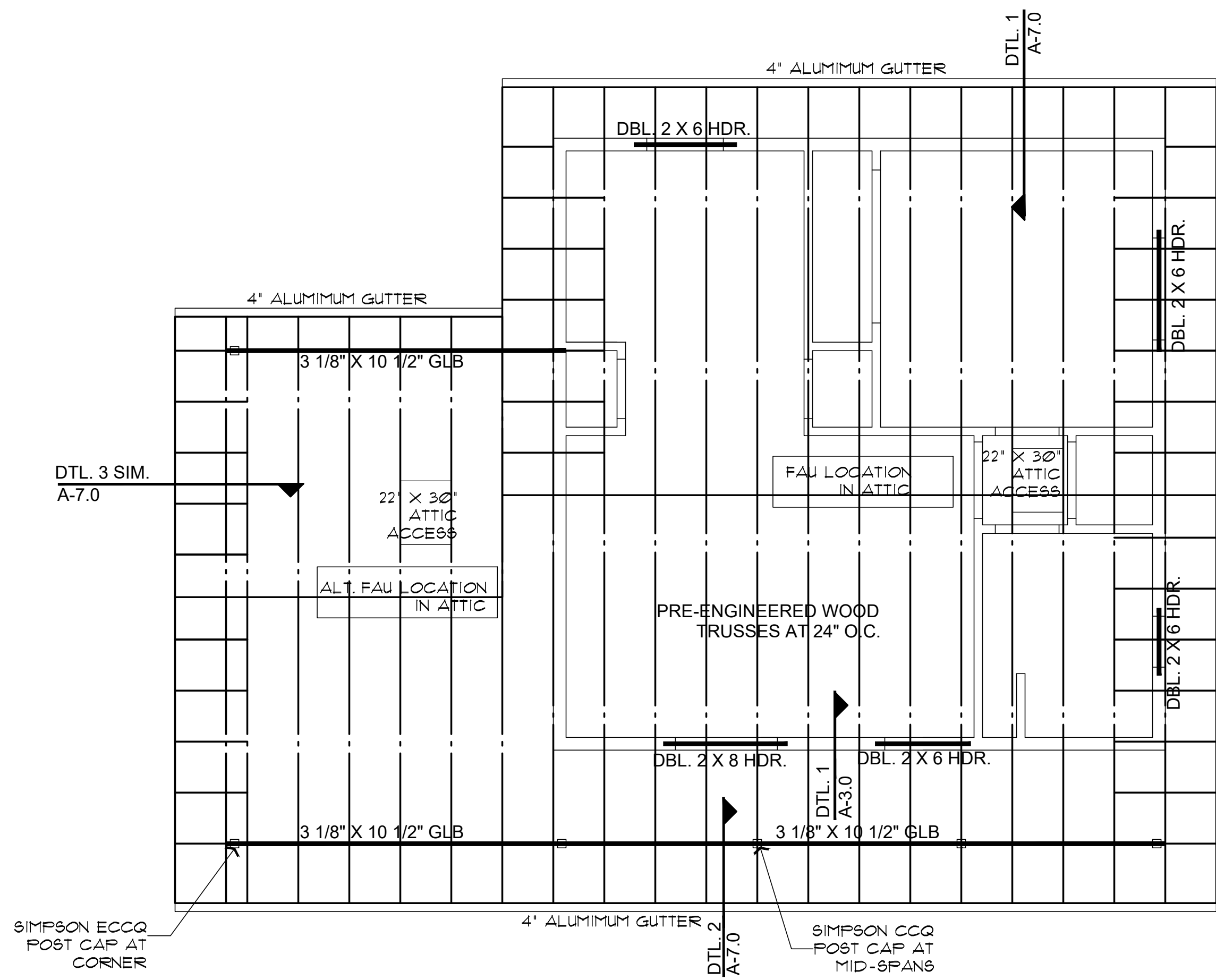
FOUNDATION PLANS / NOTES
PHASE TWO - 1 BDRM / 1 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

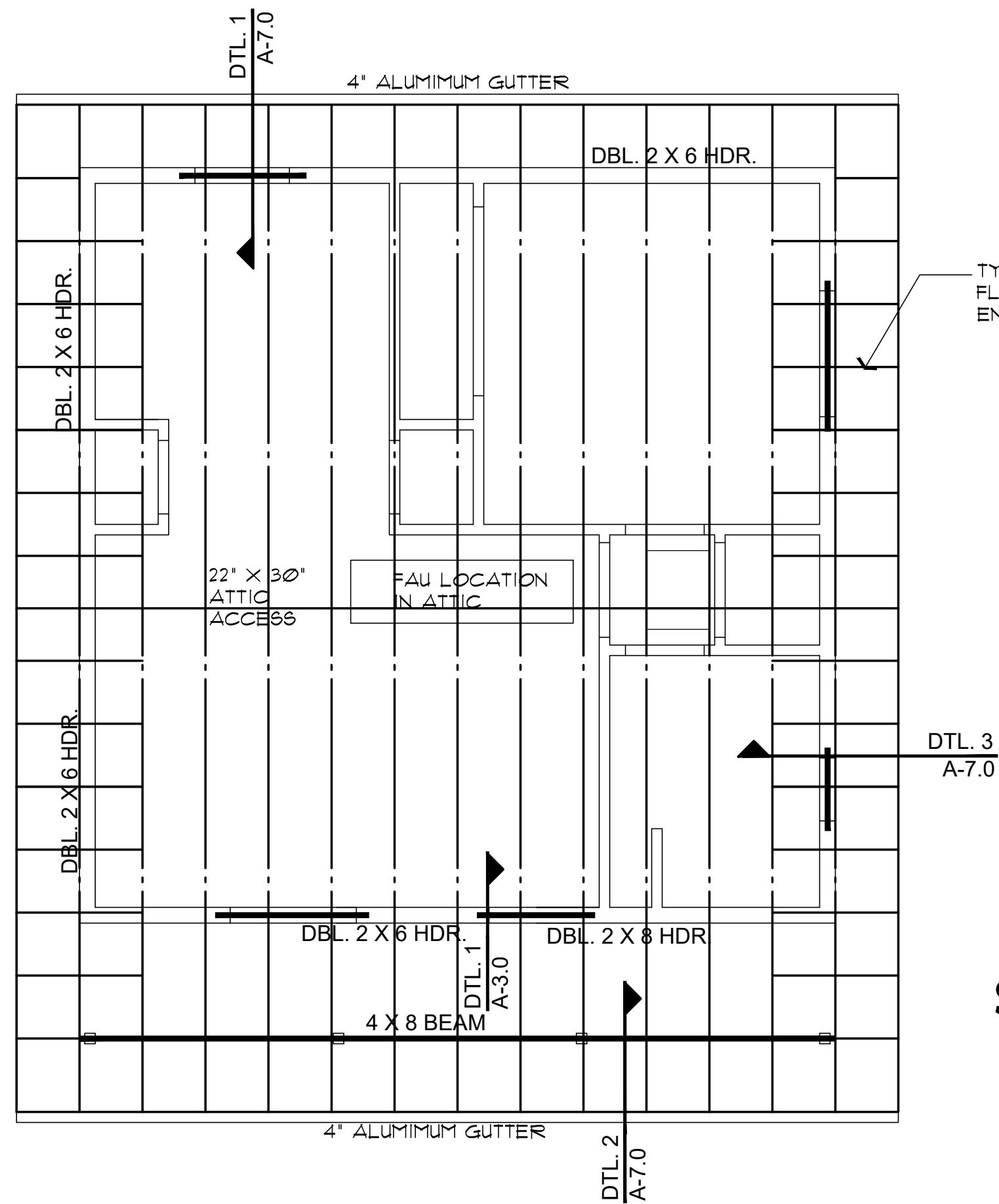
A-2.0



ROOF FRAMING PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION
REQUIRED 929 SQ. FT. / 3000 = 3 SQ. FT. (432 SQ. IN.)
USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT
288 SQ. IN. AT GABLE ENDS
REMAINING LOW VENTING IN BIRDBLOCKS, 3-HOLE, 2" DIA.
EACH BLOCK



ROOF FRAMING PLAN (no Garage or Carport)

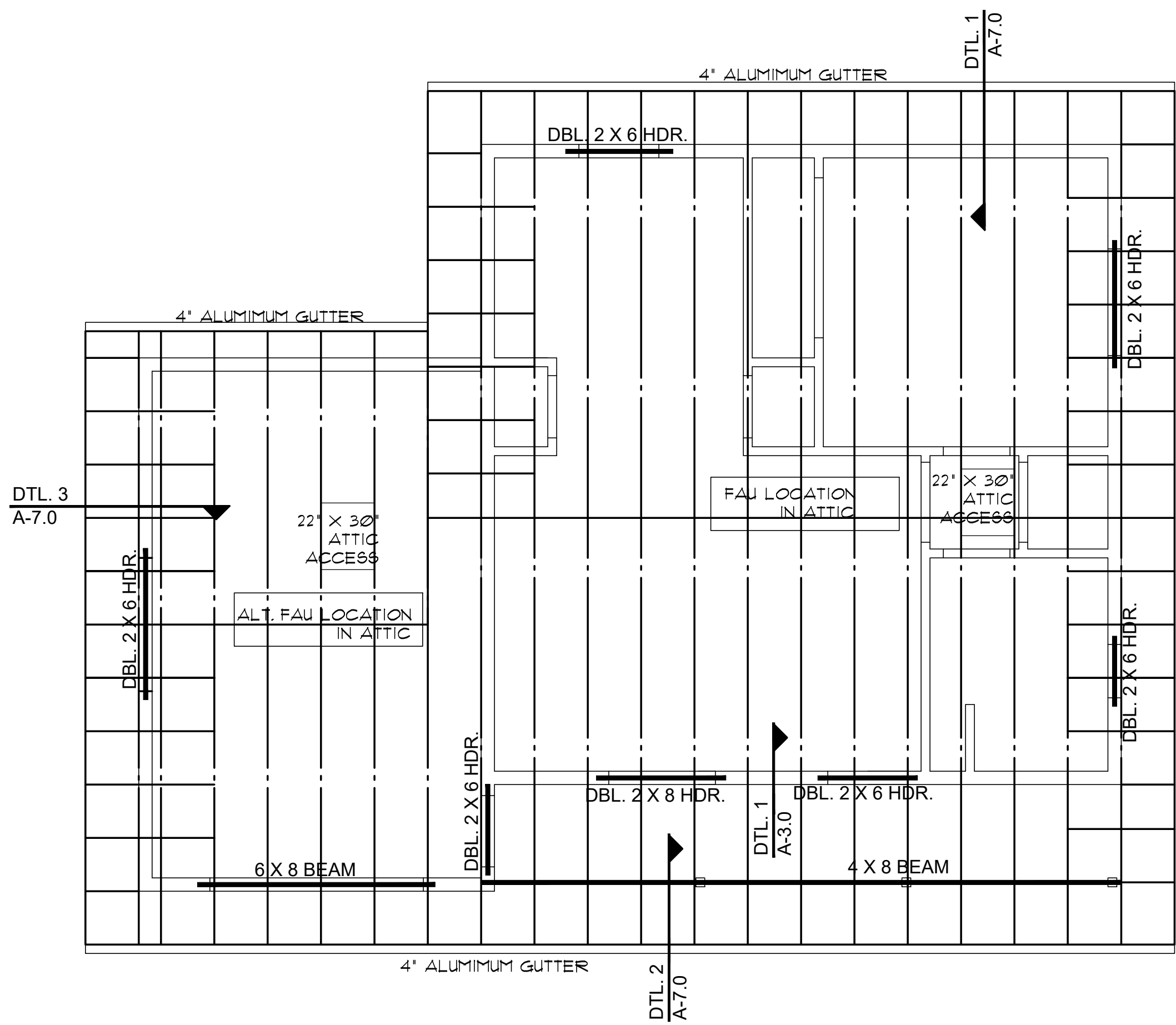
SCALE: 1/4" = 1'-0"

ROOF VENTILATION
REQUIRED 612 SQ. FT. / 3000 = 2.24 (USE 3 SQ. FT.) (432 SQ. IN.)
USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT
288 SQ. IN. AT GABLE ENDS
REMAINING LOW VENTING IN BIRDBLOCKS, 3-HOLE, 2" DIA.
EACH BLOCK

ROOF NOTES

1. REFER TO TRUSS CALCULATIONS FOR FINAL ROOF FRAMING DESIGN.
2. SIMPSON'S H25A HANGERS TO BE APPLIED @ ALL TRUSS ENDS
3. ROOF SHEATHING TO BE 1/2" CDX PLYWOOD, OR OSB.
4. SUPPORTED MEMBERS OF GLB, 4 GIRDERS OR OTHER CONCENTRATED LOADS SUPPORTED BY WALL OR PIER SHALL HAVE BEARING AT LEAST AS WIDE AS THE ROOF MEMBER.
5. ROOF PITCH 4:12 (TYP.).
6. OVERHANGS TO BE 24".
7. FURNACE IN ATTIC: PROVIDE A 24" SOLID PASSAGEWAY TO CONTROL SIDE OF APPLIANCE AND A 30" SERVICE SPACE ON THE CONTROL SIDE OF THE APPLIANCE (REQUIRED FOR ATTIC MOUNT FURNACES).
8. ALL RAFTERS SHALL BE DOUGLAS FIR #2 (SIZE PER PLAN). ALL STUDS SHALL BE HEM FIR #2 (SIZE PER PLAN).

SEE ROOF FRAMING DETAILS SHEET A7.0

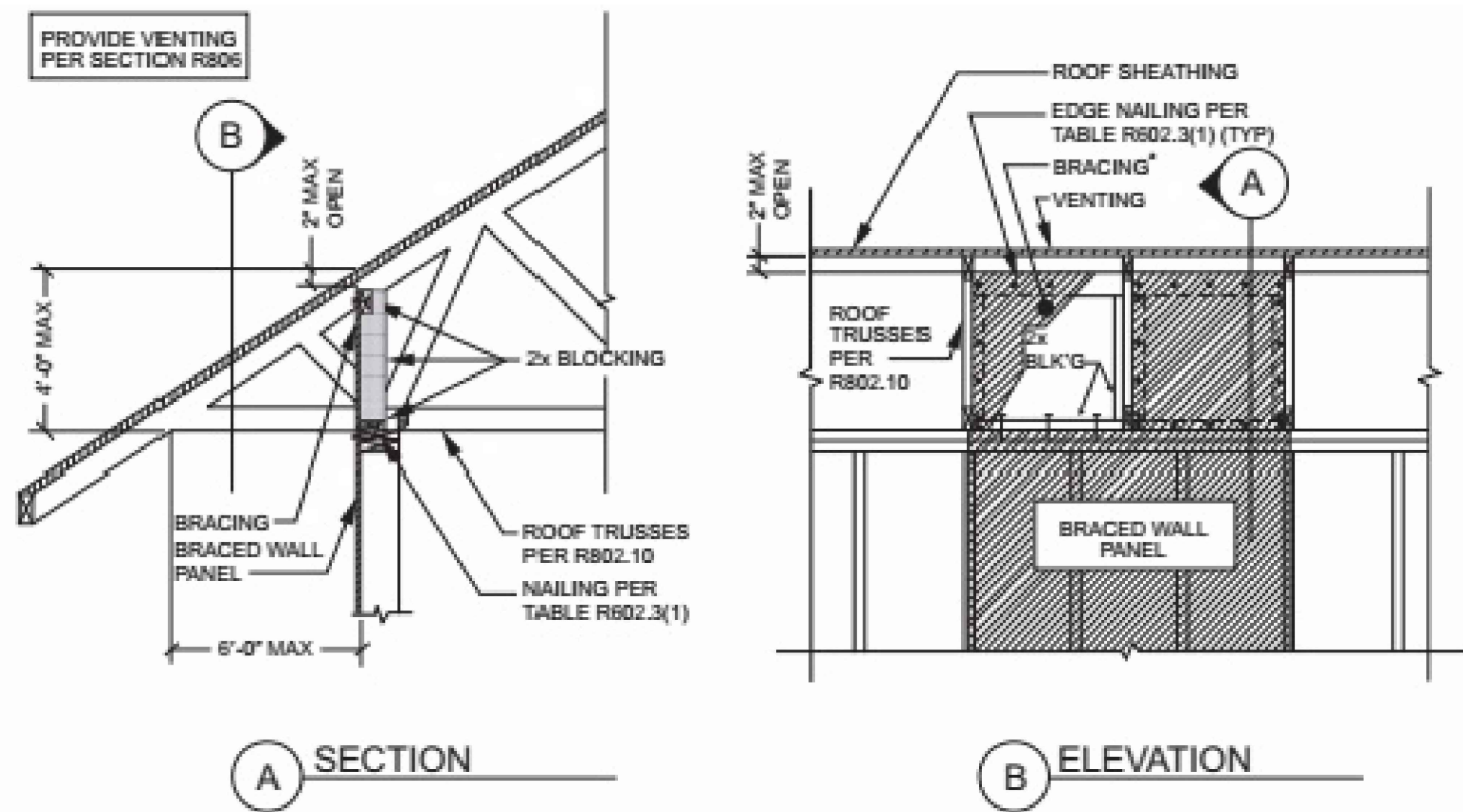


ROOF FRAMING PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION
REQUIRED 929 SQ. FT. / 3000 = 3 SQ. FT. (432 SQ. IN.)
USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT
288 SQ. IN. AT GABLE ENDS
REMAINING LOW VENTING IN BIRDBLOCKS, 3-HOLE, 2" DIA.
EACH BLOCK

NOTE: PROVIDE PANEL EDGE SUPPORT FOR
NARROW-WIDTH ROOF SHEATHING PER
APA TECHNICAL REPORT #R275A.



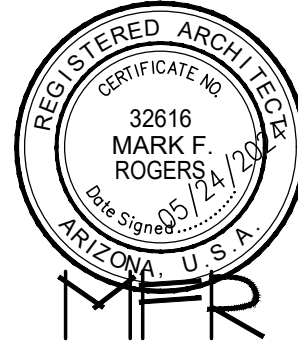
BRACED WALL PANEL CONNECTION OPTION
AT PERPENDICULAR ROOF TRUSSES

SCALE: 1 1/2" = 1'-0"

2018 IRC FIGURE R602.10.8.2(3)

Job no. : 1BM/1BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
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Revisions:

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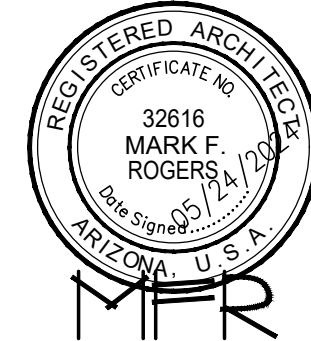
ROOF FRAMING PLANS
PHASE TWO - 1 BDRM / 1 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

A-3.0



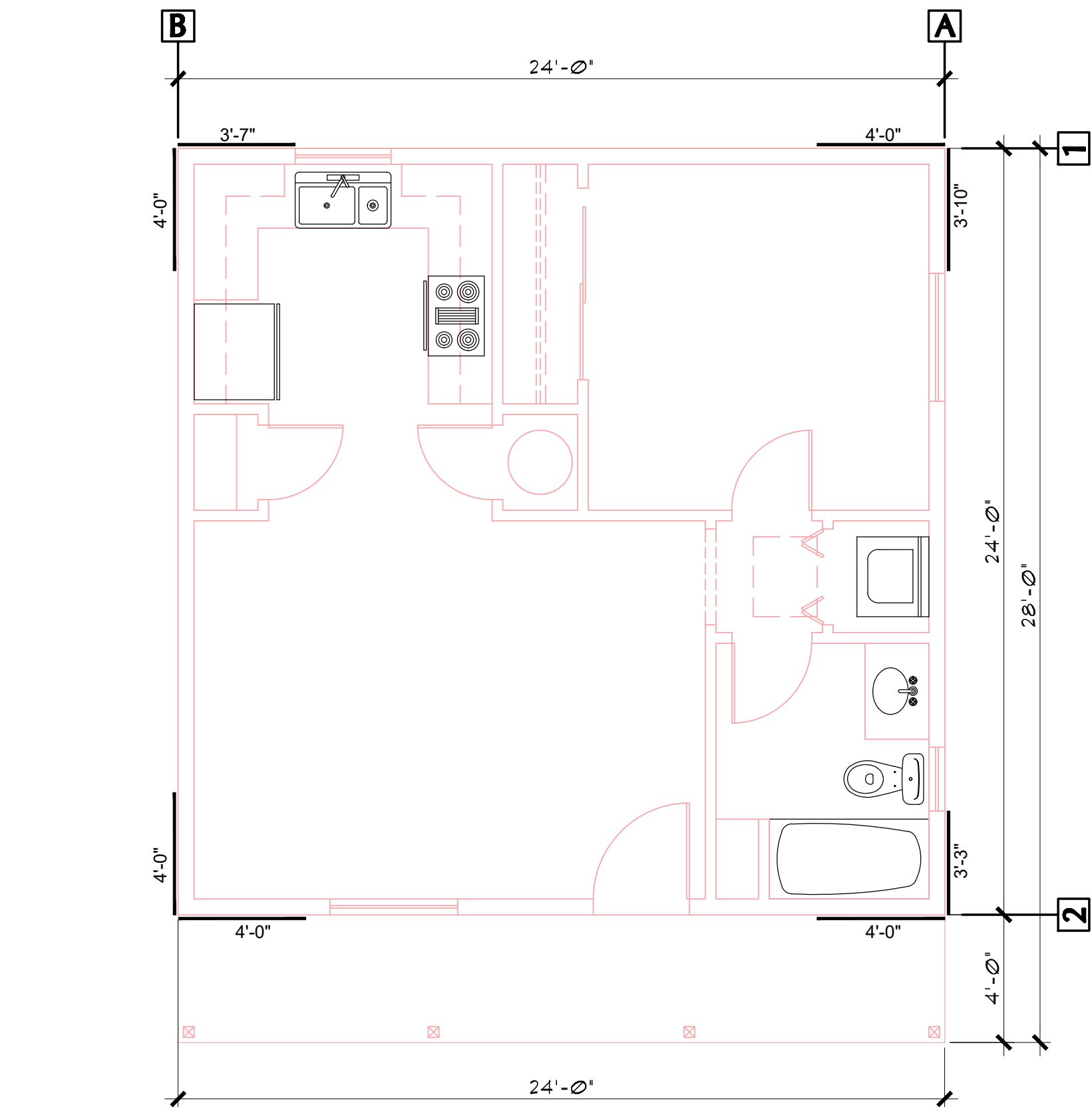
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BRACE WALL PLANS /
CALCULATIONS
PHASE TWO - 1 BDRM / 1 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

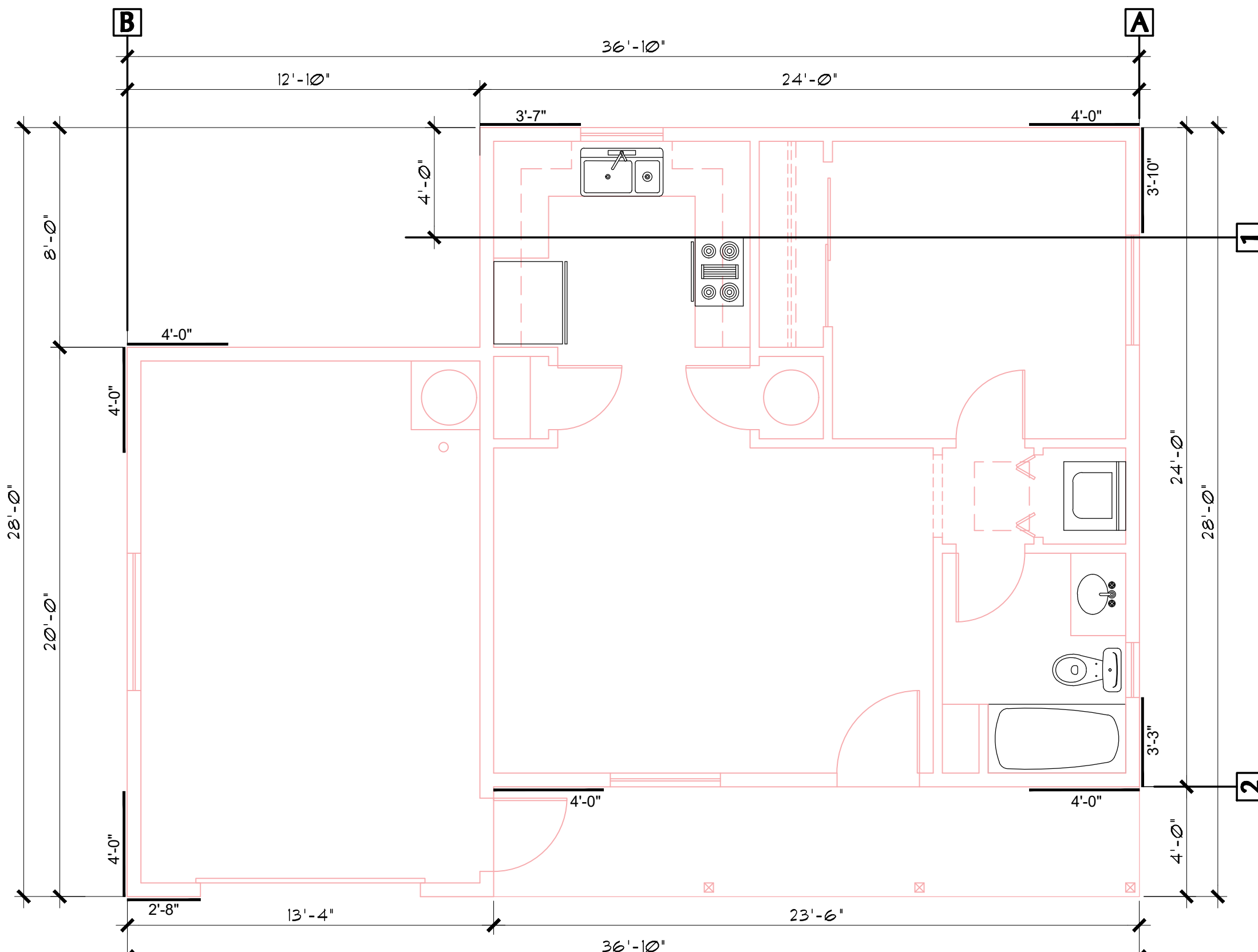
1015 FAIR STREET
PRESCOTT, ARIZONA



BRACE WALL PLAN (same as with Carport option)

SCALE: 1/4" = 1'-0"






- OPTIONS FOR EXTERIOR SIDING-
- OPTION #1:
5/8" THICK T1-11. SIDING. 12" MINIMUM GROOVE SPACING. THE T1-11 MAY SERVE AS THE BRACE WALL PANELS, PROVIDED THE CODE REQUIRED NAILING PATTERN IS APPLIED. SEE DETAIL #1, A-6.0
- OPTION #2:
MINIMUM 3/8" THICK "LP SMART SIDING". (SEE DTL. #1, A-6.0)
- OPTION #3:
STUCCO OVER WEATHER BARRIER, OVER 1/2" PLYWOOD SEE DETAIL #2, A-6.0)
- OPTION #4:
HORIZ. SIDING OVER WEATHER BARRIER, OVER 1/2" PLYWOOD SEE DETAIL #3, A-6.0)








FLOOR PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

BRACE WALL CALCS W/O GARAGE

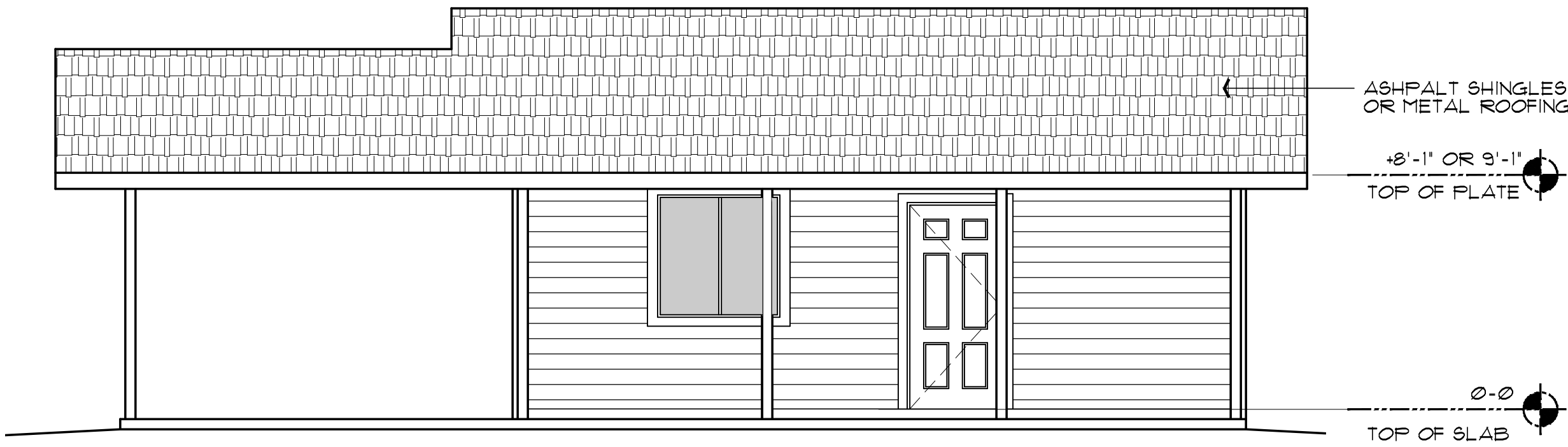
WIND SPEED (MPH)		115		115		115		115		115		
BRACED WALL LINE		1		2		A		B				
STORY												
BRACED WALL PANEL METHOD		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G				
AVG BWL SPACING (ft)		24		24		24		24				
TABULAR REQUIRED (ft)		3.90		3.90		3.90		3.90				
ADJUSTMENT	EXPOSURE	C	1.20	C	1.20	C	1.20	C	1.20	C		
	EAVE-RIDGE HT (ft)	5.00	0.70	5.00	0.70	5.00	0.70	5.00	0.70			
	STORY HEIGHT (ft)	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95			
	# BWLs	2.00	1.00	2.00	1.00	2.00	1.00	2.00	1.00			
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
	OMIT INTERIOR GB	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
	METHOD GB FASTEN @ 4" o.c	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
HORIZONTAL BLOCKING OMITTED		NO	1.00	NO	1.00	NO	1.00	NO	1.00			
REQUIRED BWP LENGTH (ft)		3.11		3.11		3.11		3.11				
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	4.00	CS-WSP	3.83	CS-WSP	4.00		
		2	CS-WSP	3.58	CS-WSP	4.00	CS-WSP	3.25	CS-WSP	4.00		
		3										
		4										
		5										
		6										
		7										
ACTUAL BWP LENGTH (ft)		7.58		8.00		7.08		8.00				
ACTUAL ≥ REQUIRED		YES		YES		YES		YES				
SPACE	BWPs ≤ 20' APART		YES		YES		YES		YES			
# of BWPs	Length of BWL (ft)		24		24		24		24			
	BWP 1 ≤ 16', 2 > 16'		YES		YES		YES		YES			
ENDS	BWP WITHIN 10' OF END		YES	YES	YES	YES	YES	YES	YES	YES		
	CONTINUOUS END CONDITION		3	1	3	3	1	1	3	3		
BWL COMPLIANCE PASS-FAIL		PASS		PASS		PASS		PASS				

BRACE WALL CALCS WITH GARAGE

WIND SPEED (MPH)			115		115		115		115		115	
BRACED WALL LINE			1		2		A		B			
STORY												
BRACED WALL PANEL METHOD			CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G			
AVG BWL SPACING (ft)			24		24		36.83		36.83			
TABULAR REQUIRED (ft)			3.90		3.90		5.52		5.52			
ADJUSTMENT	EXPOSURE		C	1.20	C	1.20	C	1.20	C	1.20	C	
	EAVE-RIDGE HT (ft)		5.00	0.70	5.00	0.70	5.00	0.70	5.00	0.70		
	STORY HEIGHT (ft)		9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95		
	# BWLs		2.00	1.00	2.00	1.00	2.00	1.00	2.00	1.00		
	ADD PAIR 800# HOLD DOWNS		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
	OMIT INTERIOR GB		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
	METHOD GB FASTEN @ 4" o.c		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
HORIZONTAL BLOCKING OMITTED			NO	1.00	NO	1.00	NO	1.00	NO	1.00		
REQUIRED BWP LENGTH (ft)			3.11		3.11		4.41		4.41			
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	4.00	CS-WSP	3.83	CS-WSP	4.00		
		2	CS-WSP	3.58	CS-WSP	4.00	CS-WSP	3.25	CS-WSP	4.00		
		3	CS-WSP	4.00	CS-WSP	2.67						
		4										
		5										
		6										
		7										
ACTUAL BWP LENGTH (ft)			11.58		10.67		7.08		8.00			
ACTUAL ≥ REQUIRED			YES		YES		YES		YES			
SPACE	BWPs ≤ 20' APART		YES		YES		YES		YES			
# of BWPs	Length of BWL (ft)		36.83		36.83		24		20			
	BWP 1 ≤ 16', 2 > 16'		YES		YES		YES		YES			
ENDS	BWP WITHIN 10' OF END		YES	YES	YES	YES	YES	YES	YES	YES		
	CONTINUOUS END CONDITION		3	3								
BWL COMPLIANCE PASS-FAIL			PASS		PASS		PASS		PASS			

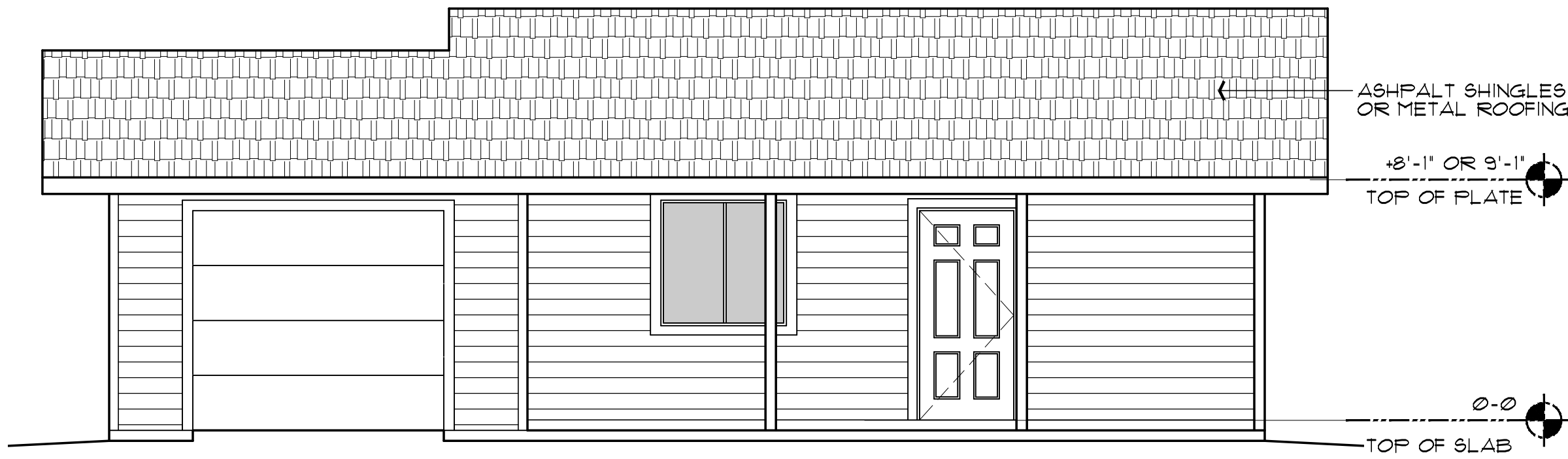
REVIEWED FOR DESIGN
CRITERIA ONLY
SEE ATTACHED COVER SHEET FOR ALL
STAMPS. IT IS THE RESPONSIBILITY OF THE
OWNER/APPLICANT TO REVIEW AND
ACKNOWLEDGE APPLICABLE STAMPS.

PROPERTY OF YAVAPAI COUNTY, AZ



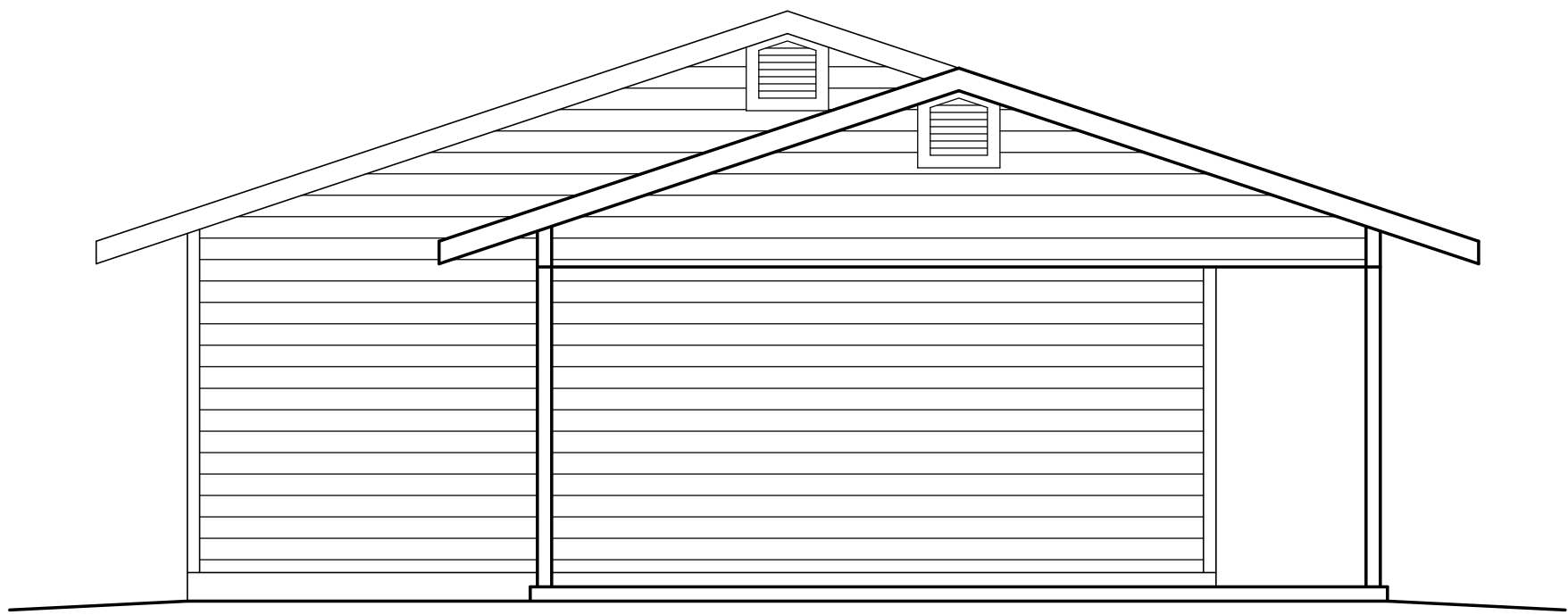
FRONT ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION (with optional Garage)

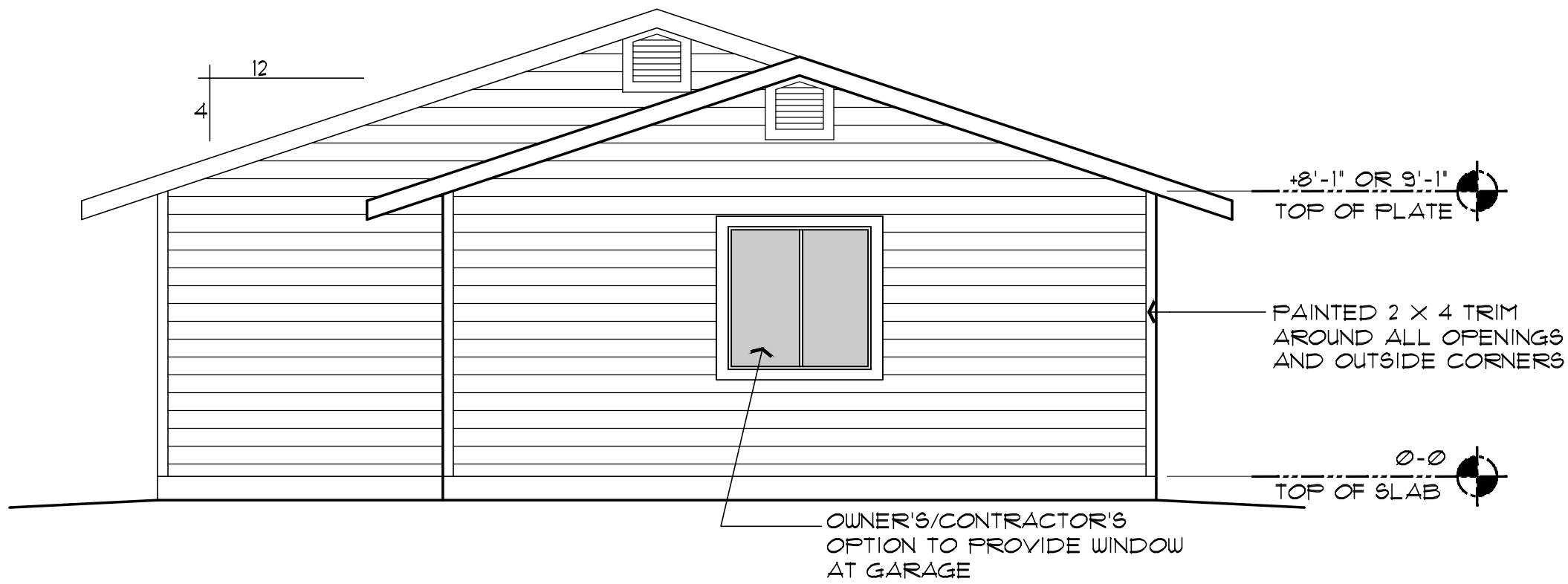
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (with optional Carport)

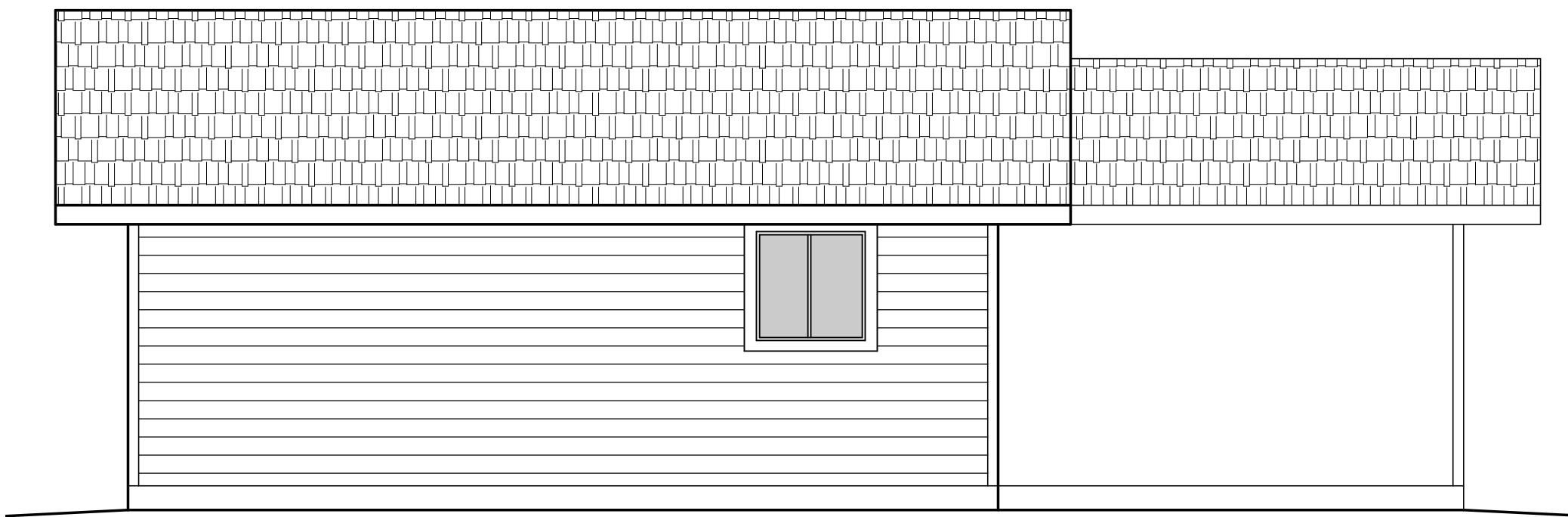
SCALE: 1/4" = 1'-0"

NOTE: SEE SHEET A-4.0 FOR EXTERIOR WALL FINISH OPTIONS.



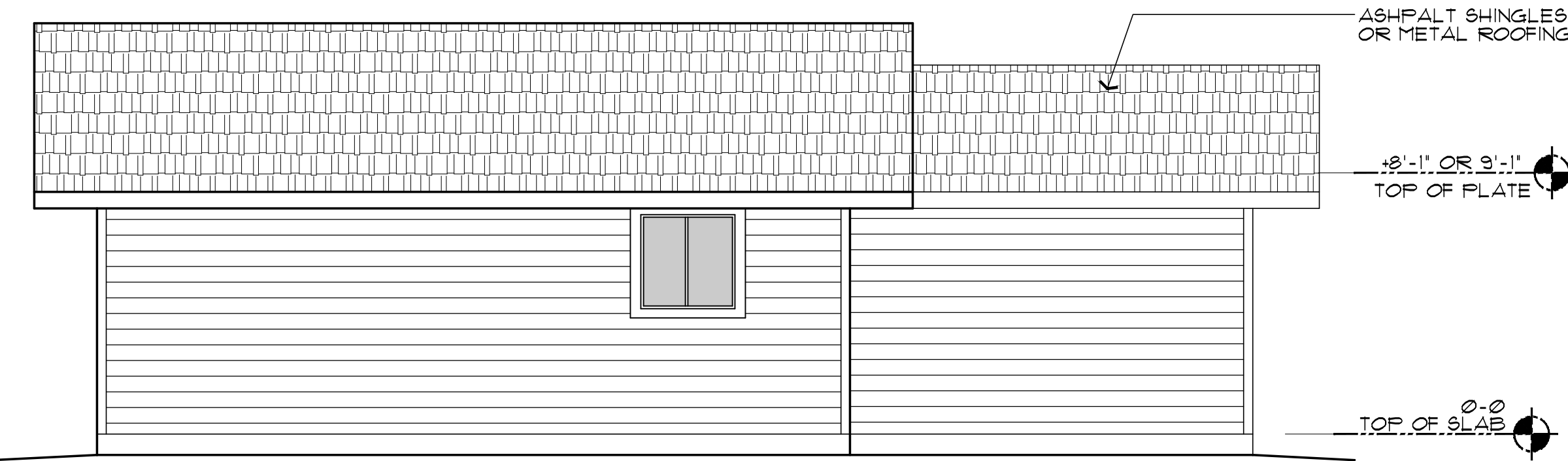
LEFT SIDE ELEVATION (with optional Garage)

SCALE: 1/4" = 1'-0"



REAR ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



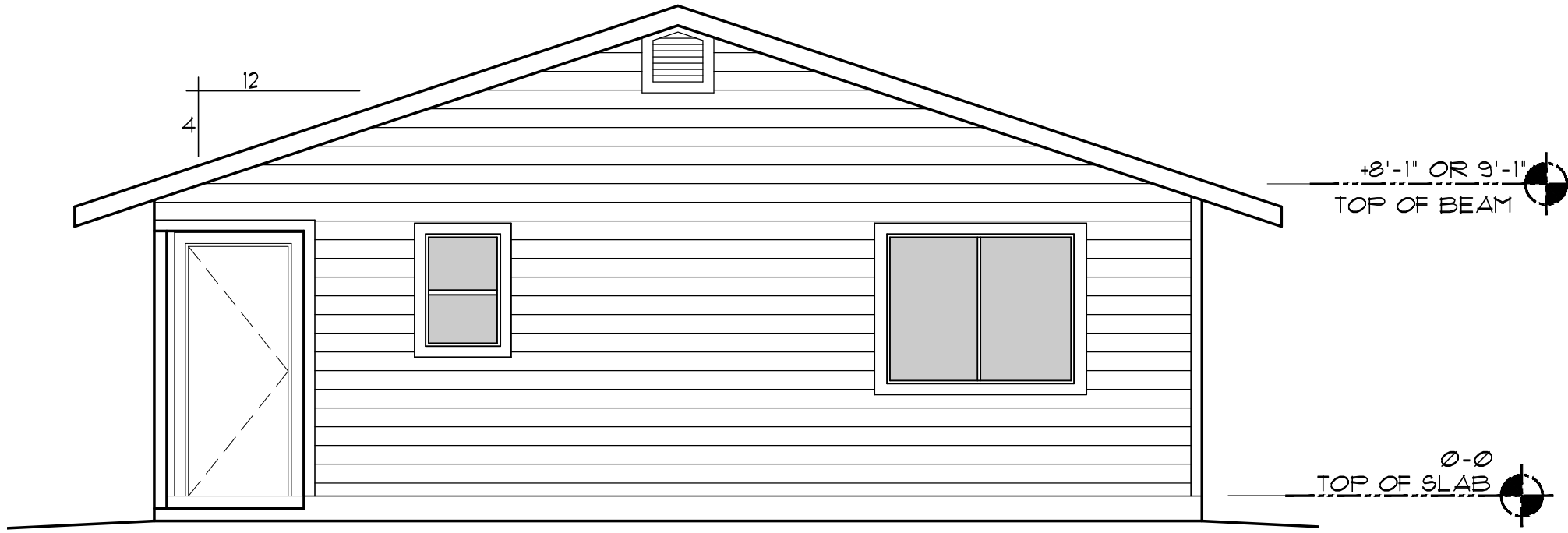
REAR ELEVATION (with optional Garage)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION (without Garage, or Carport option)

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION (similar for all options)

SCALE: 1/4" = 1'-0"

Job no. : 1BM/1BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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EXTERIOR ELEVATIONS
PHASE TWO - 1 BDRM / 1 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

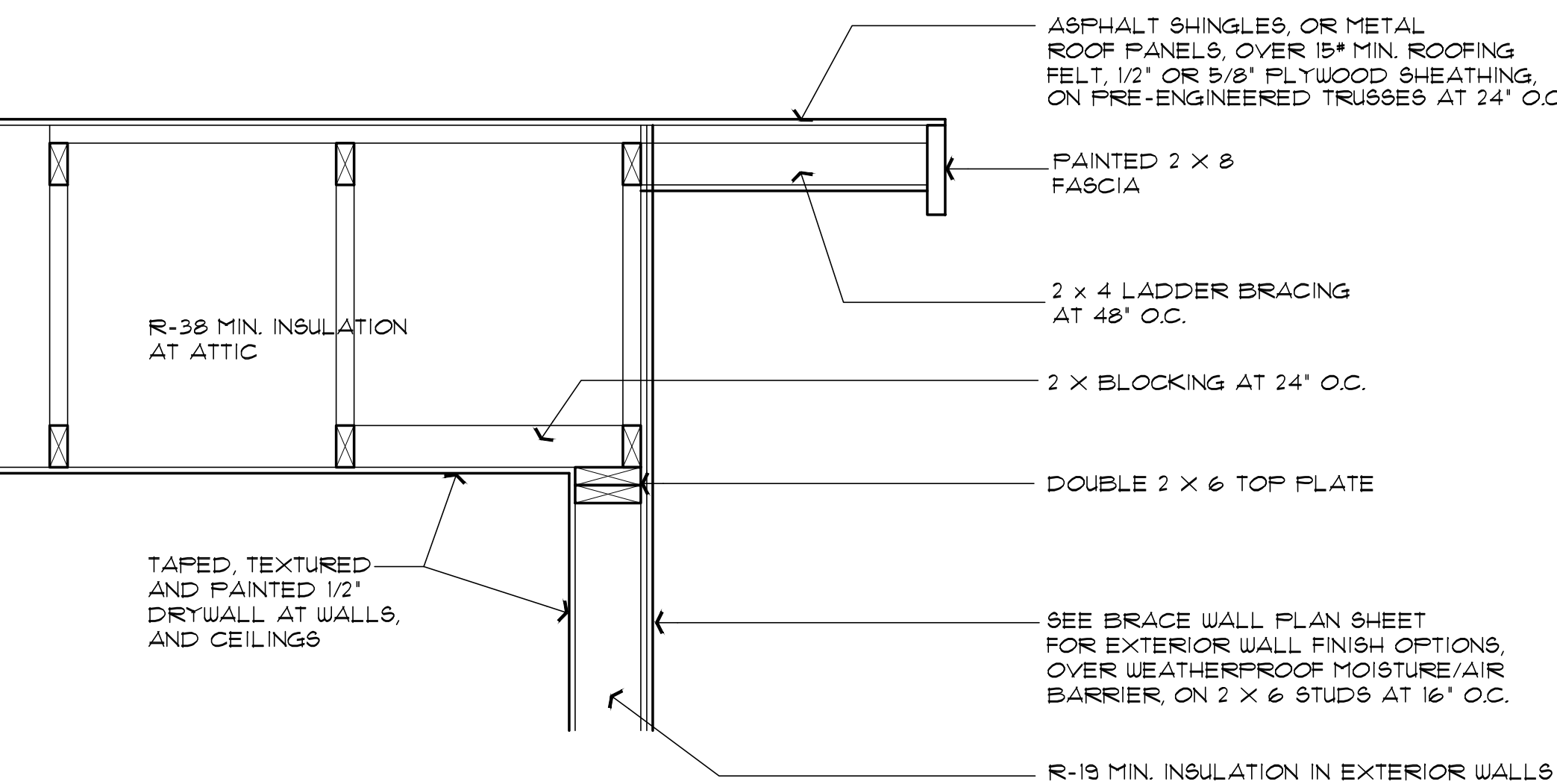
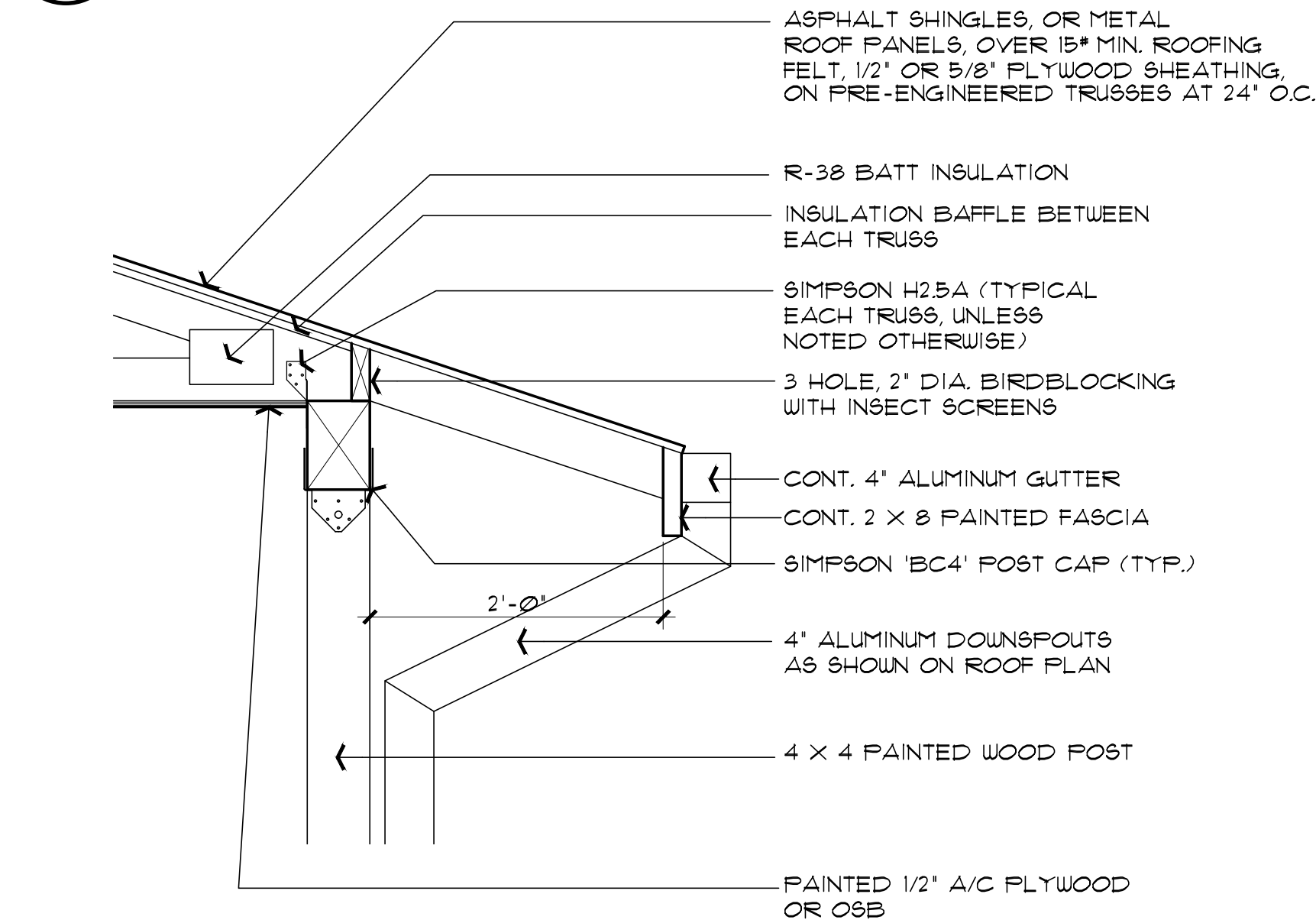
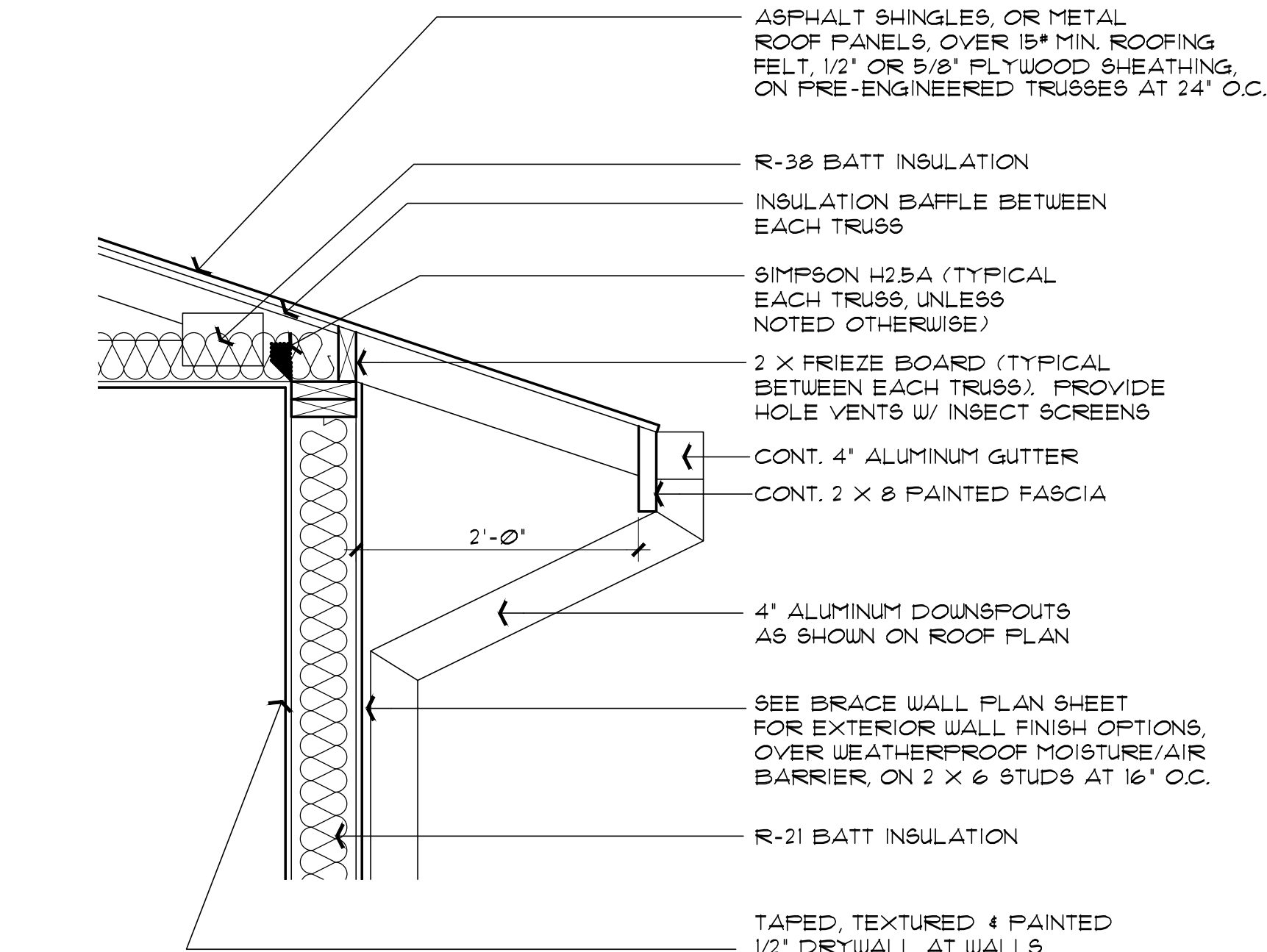
SHEET NO:

A-5.0

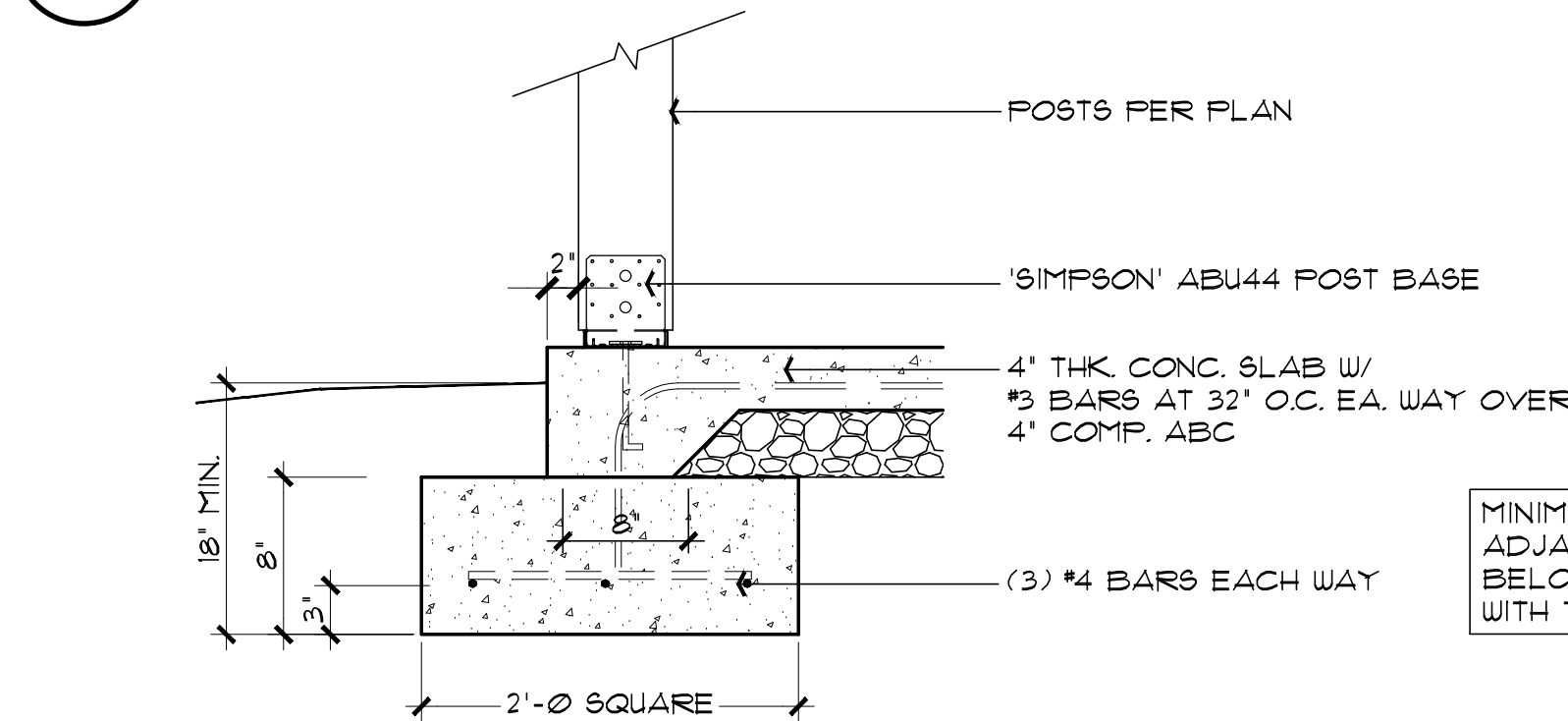
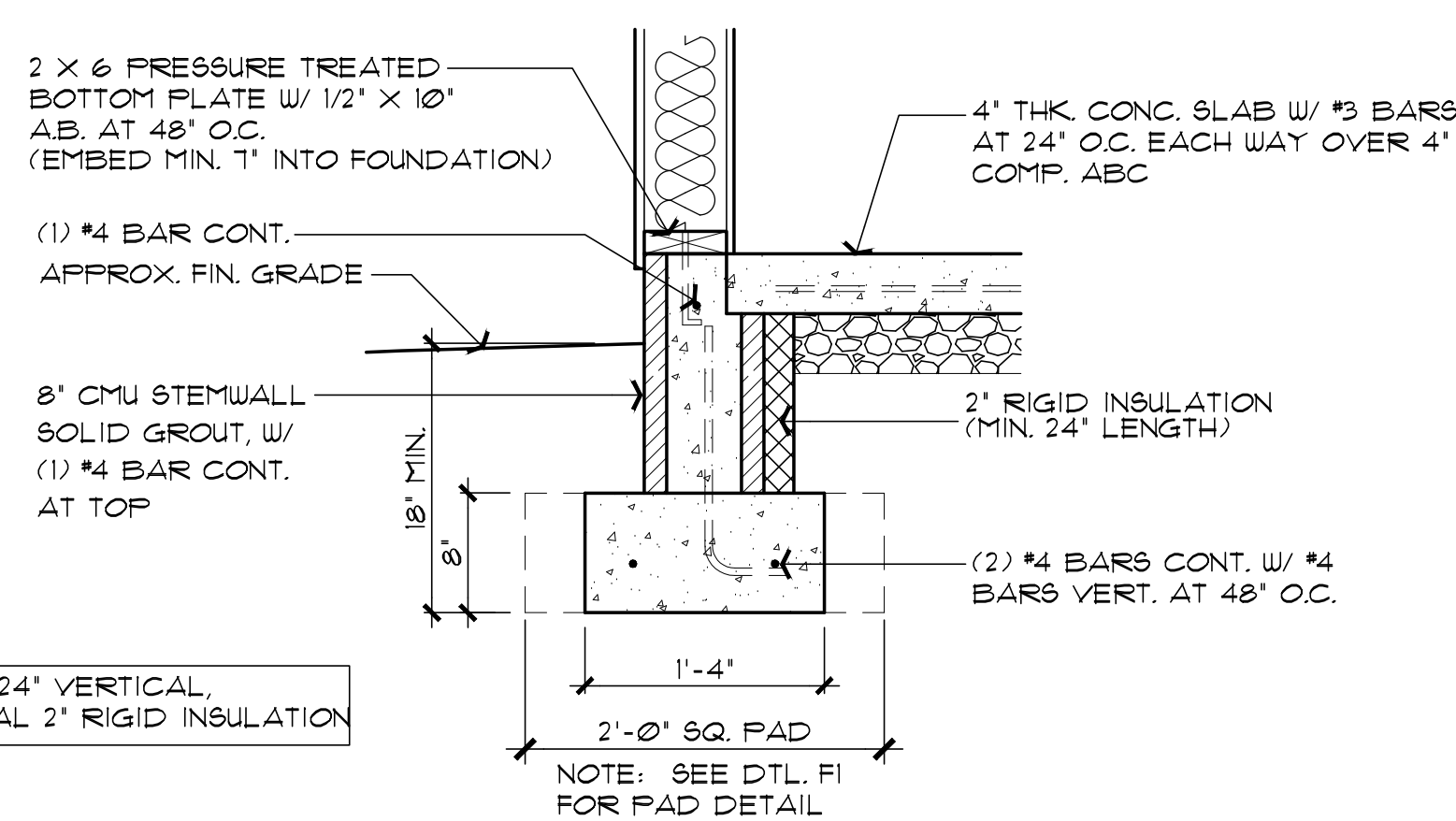
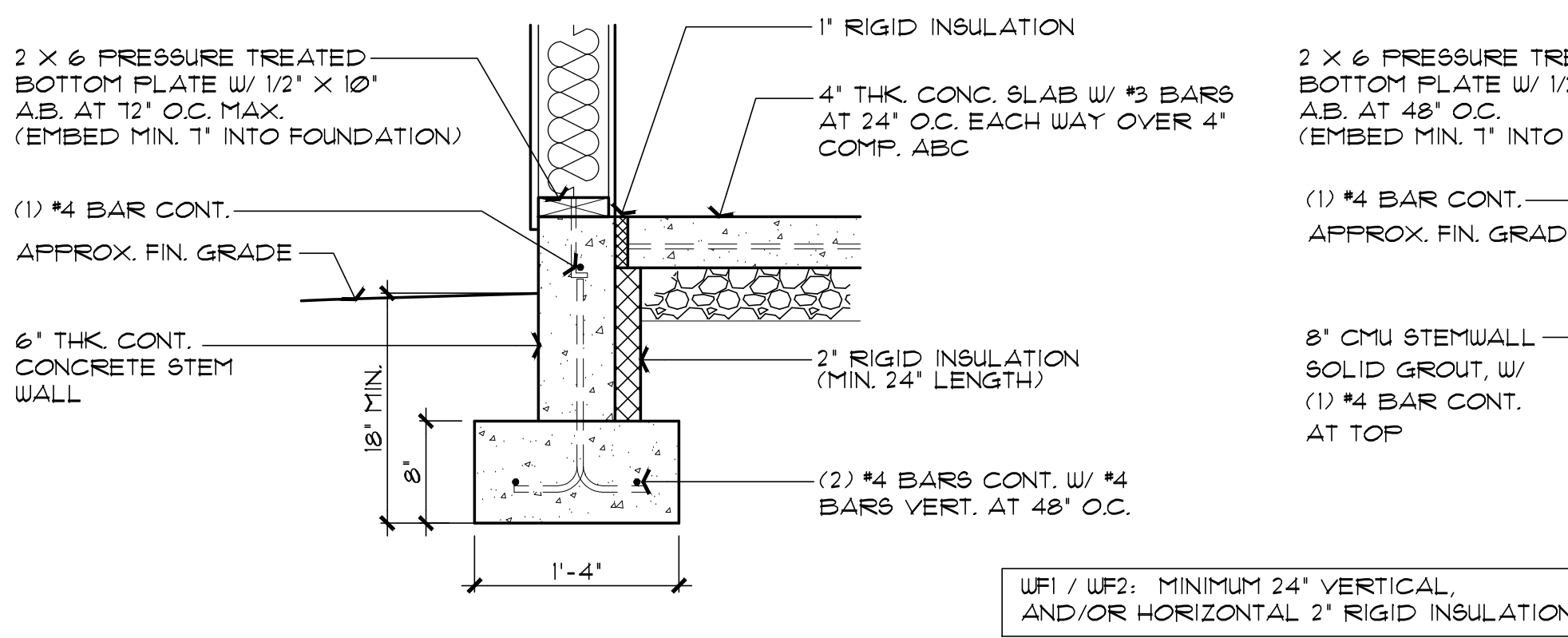
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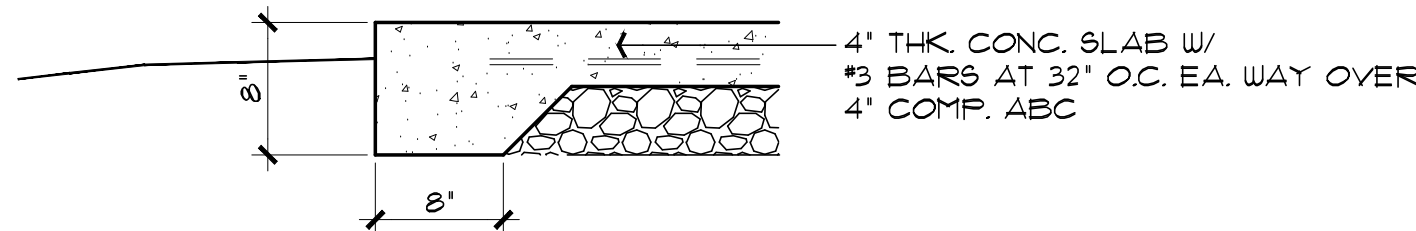
PROPERTY OF YAVAPAI COUNTY, AZ



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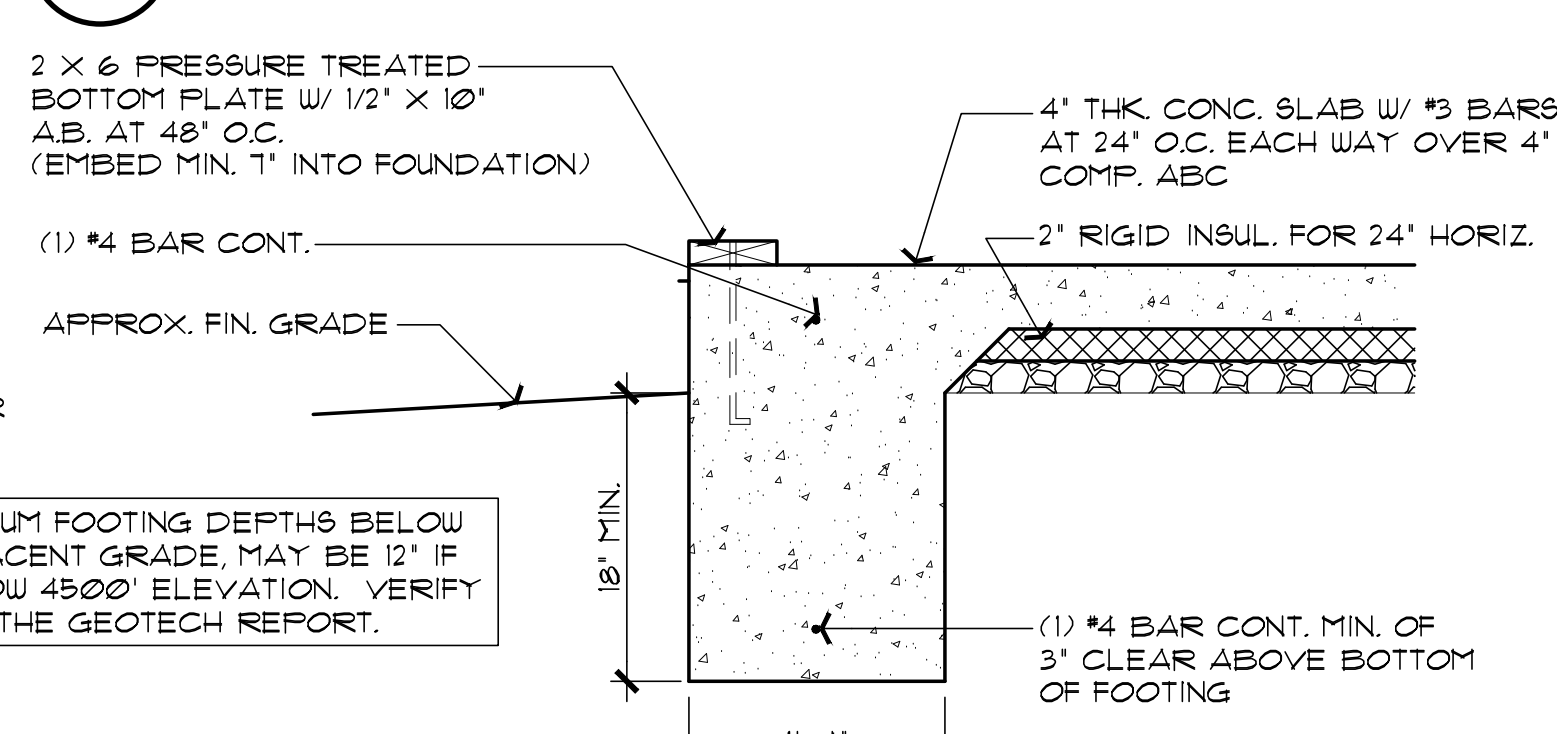


F1 POST BASE FOOTING
SCALE: 1" = 1'-0"



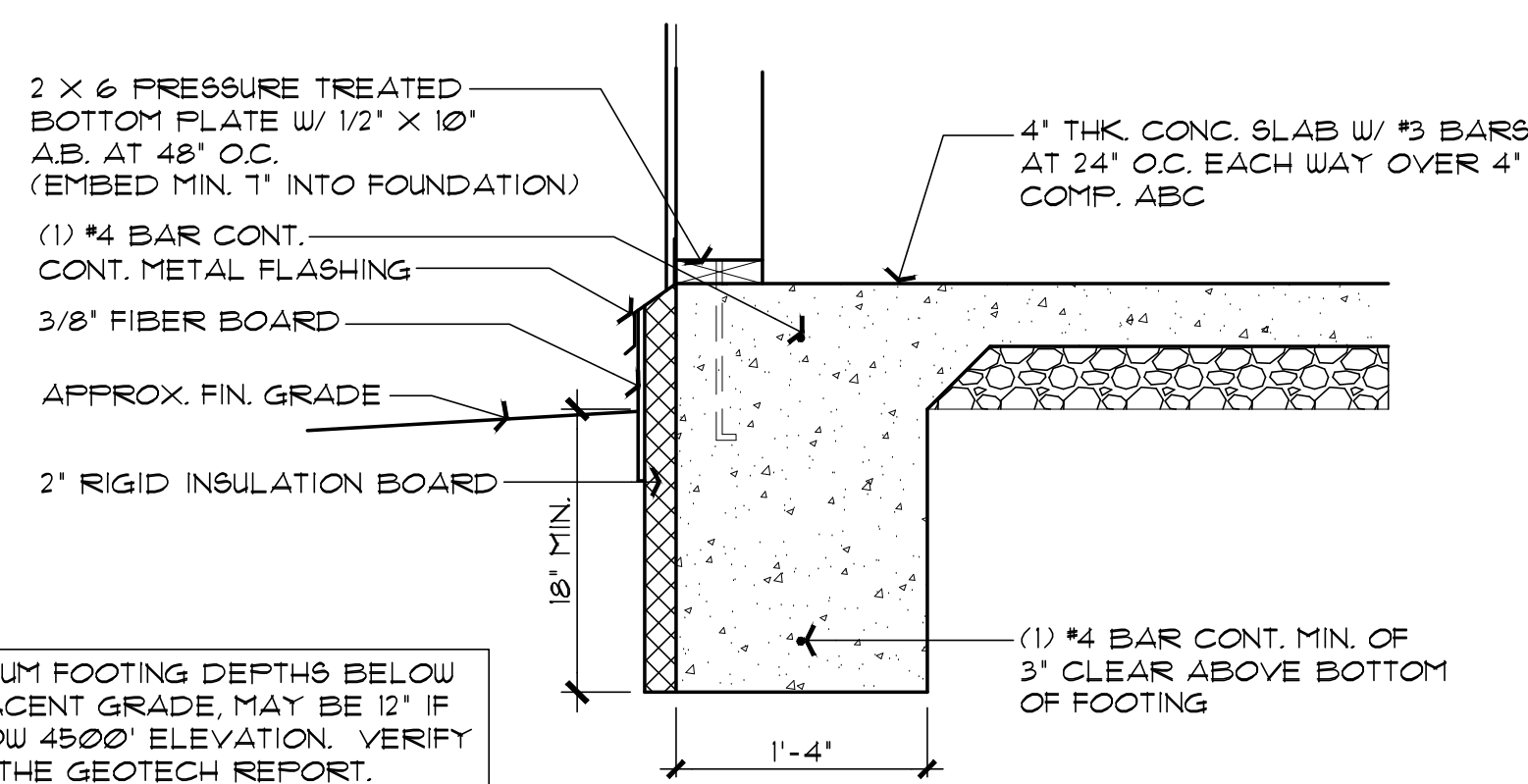
F2 TYPICAL TURN-DOWN FOOTING
SCALE: 1" = 1'-0"

WF2 CMU STEM WALL OPTION
SCALE: 1" = 1'-0"



WF3 MONOLITHIC FOOTING OPTION
SCALE: 1" = 1'-0"

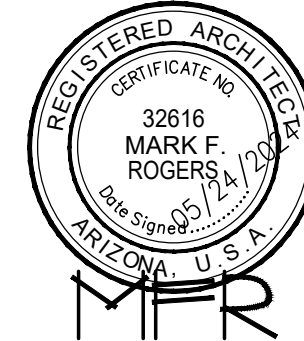
NOTE: SLAB INSULATION MAY BE
ELIMINATED IF USING WINDOWS WITH
0.32 U-FACTOR OR BETTER.



**WF4 MONOLITHIC FOOTING OPTION WITH
EXTERIOR SLAB INSULATION**
SCALE: 1" = 1'-0"

Job no. : 1BM/1BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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FOUNDATION / ROOF DETAILS
PHASE TWO - 1 BDRM / 1 BATH - LEFT PARKING

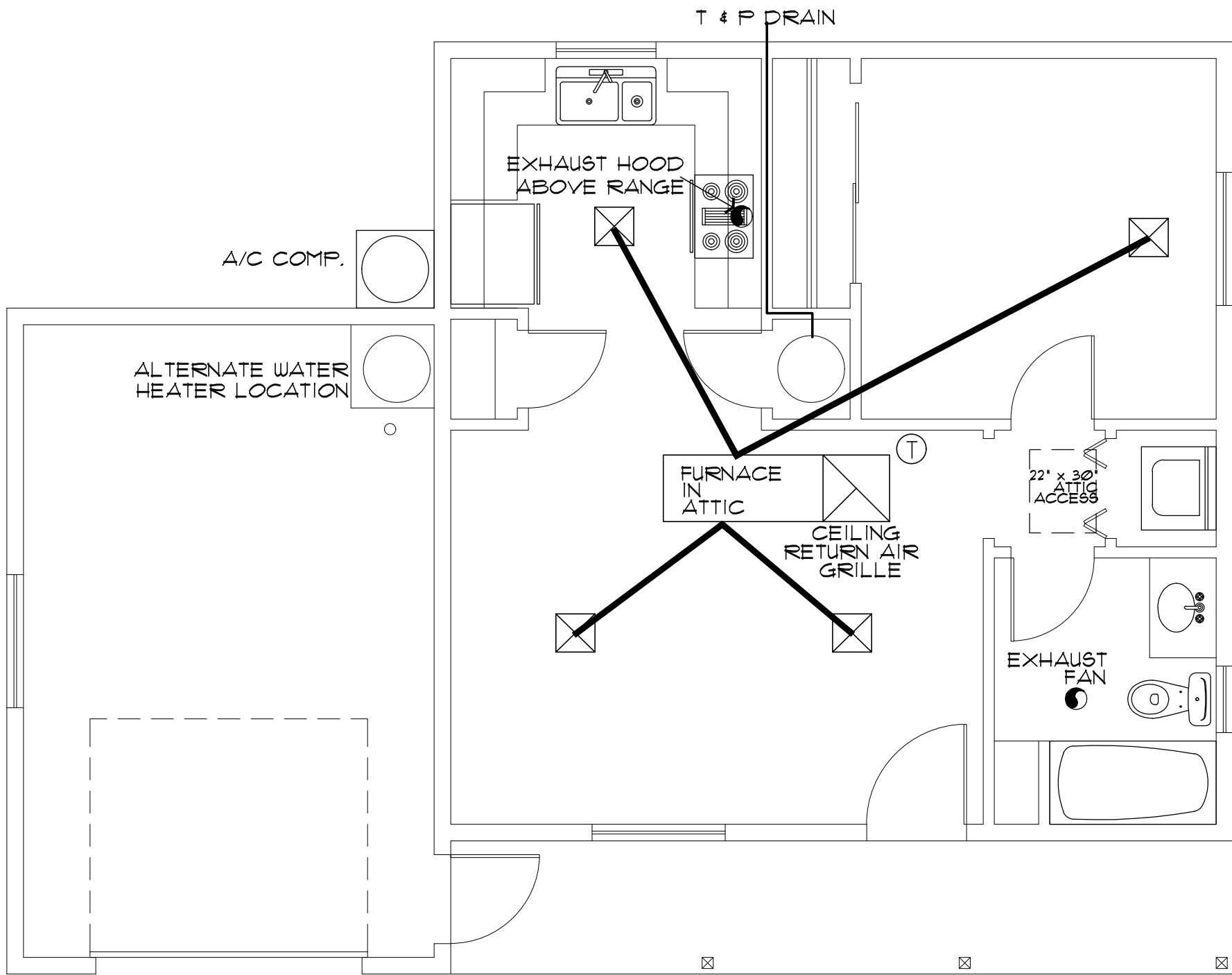
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

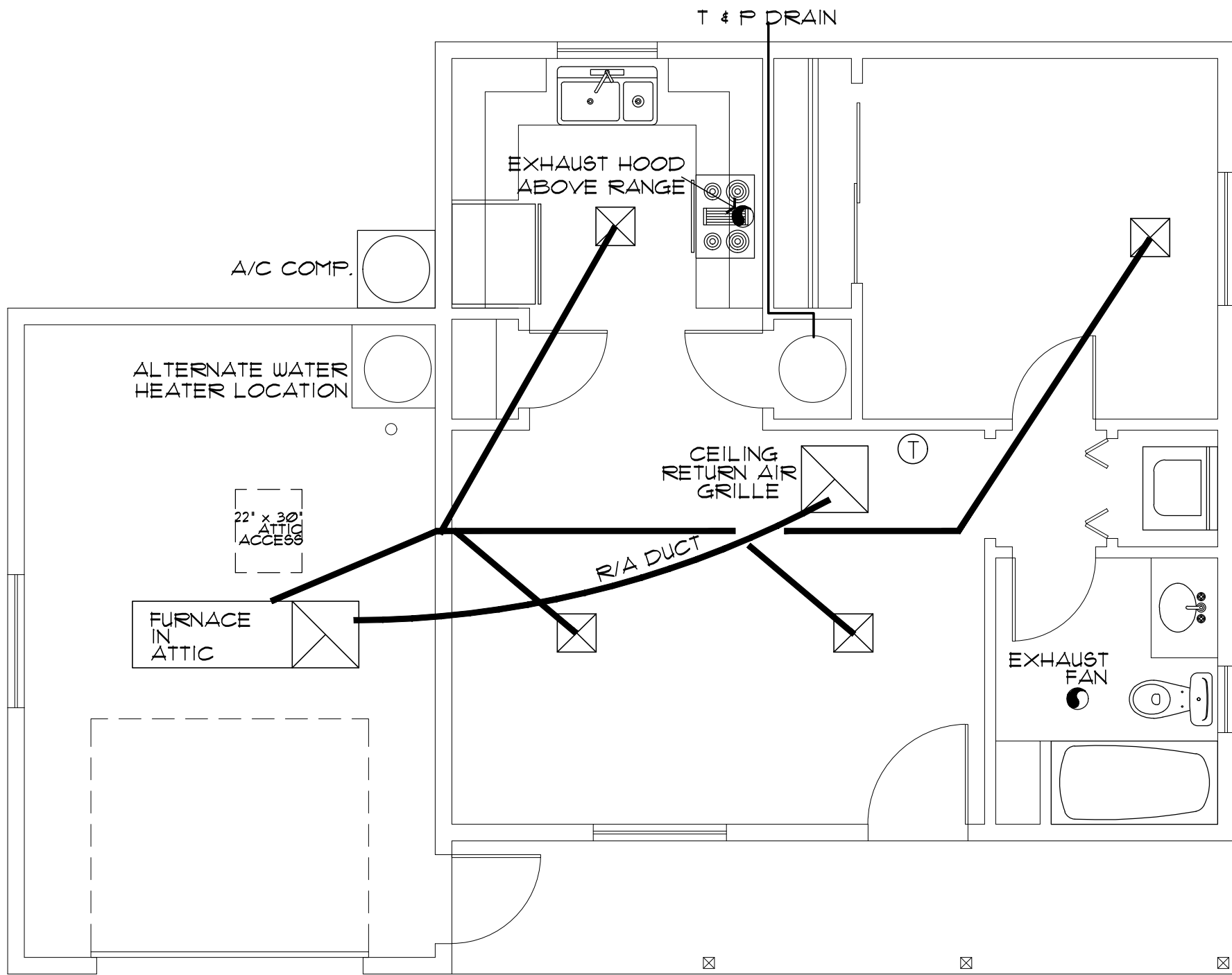
A-7.0

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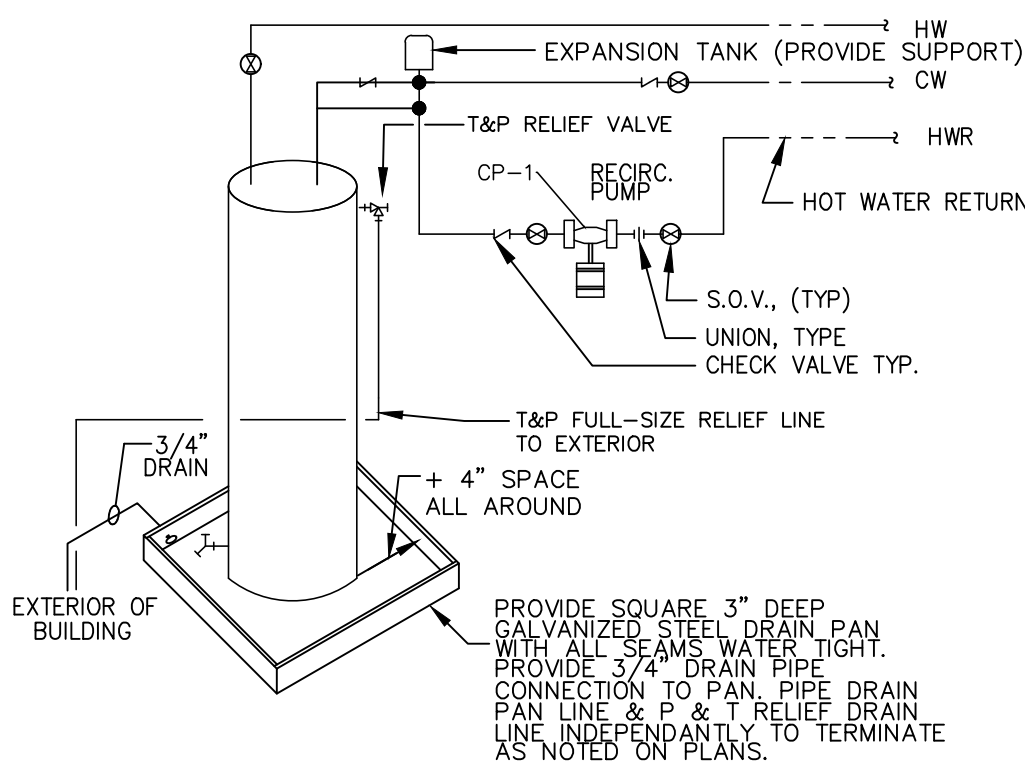
HVAC PLAN (with furnace above habitable area)

SCALE: 1/4" = 1'-0"



HVAC PLAN (with furnace above Garage / Carport)

SCALE: 1/4" = 1'-0"

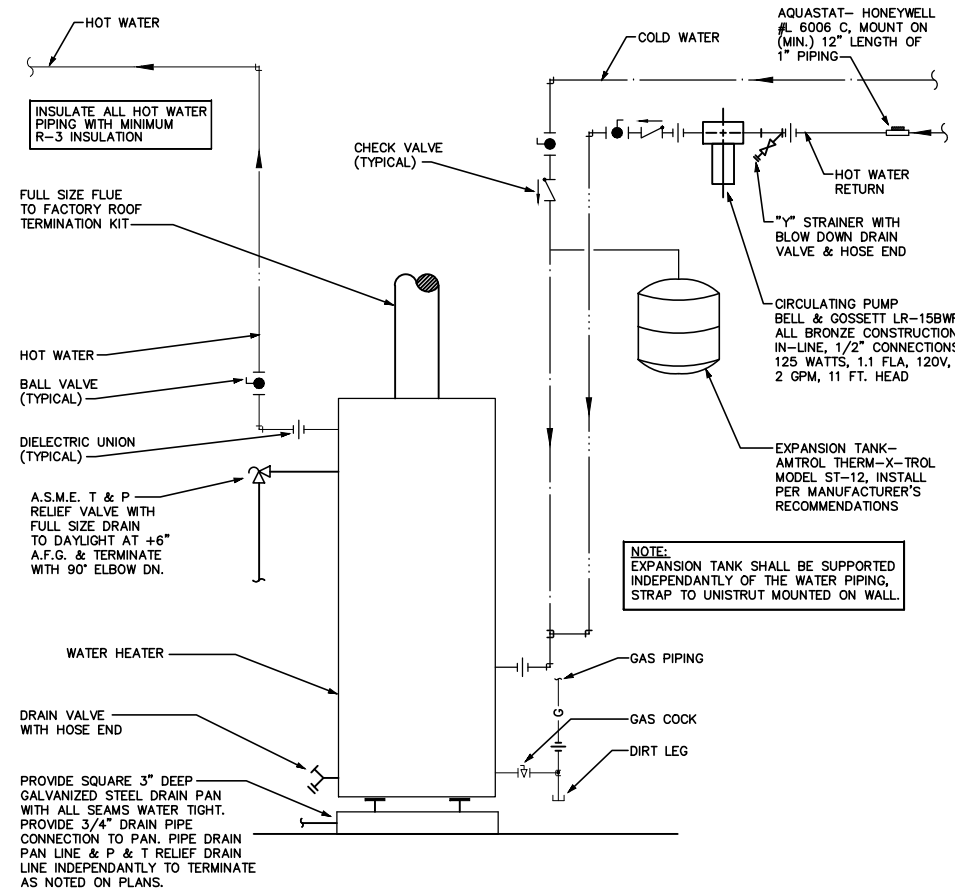


PROVIDE ACCESSABLE ELECTRICAL DISCONNECT

ELECTRIC WATER HEATER

NO SCALE

NOTE: DRAIN PAN, AND T&P MUST DRAIN BY GRAVITY. WATER HEATER SHALL BE HIGH ENOUGH OFF THE FLOOR TO PROVIDE FOR DISCHARGE PIPING TO EXTERIOR.



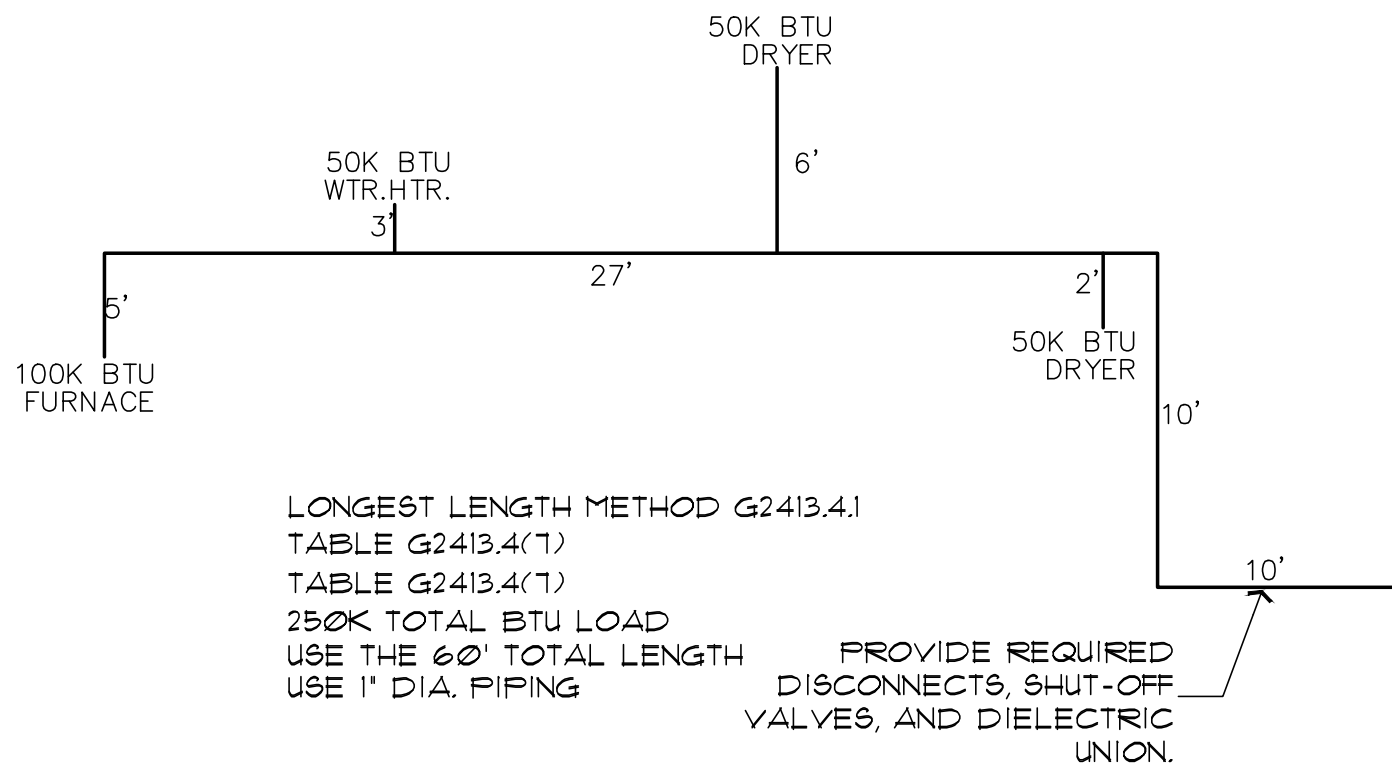
GAS WATER HEATER OPTION

NO SCALE

- ☒ SUPPLY-AIR GRILL
- ☒ RETURN AIR GRILL
- ① THERMOSTAT

HVAC/PLUMBING GENERAL NOTES:

1. THE MECHANICAL CONTRACTOR SHALL DETERMINE THE FINAL EQUIPMENT SIZING, DUCT SIZING, AND DUCT LAYOUT PRIOR TO INSTALLATION.
2. DRAIN AND VENT SIZES TO BE DETERMINED BY PLUMBING CONTRACTOR.
3. WATER HEATER RELIEF VALVE SHALL EXTEND OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2' NOR LESS THAN 6' ABOVE THE GROUND AND POINTING DOWNWARD.
4. PROVIDE A PAN, AND DRAIN FOR THE WATER HEATER.
5. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING. IT SHALL NOT EXCEED 25' IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE.
6. THE SITE PLAN SHALL INDICATE THE LOCATION OF THE GAS SOURCE, THE DISTANCE AND PIPE SIZE FROM THE SOURCE, TO THE RESIDENCE, AND THE TYPE OF FUEL (NATURAL GAS OR PROPANE).
7. BI-FOLD DOOR AT WATER HEATER CLOSET SHALL BE LOUVERED FOR COMBUSTION AIR (MIN. REQUIREMENTS OF 100 SQ. INCHES OF FREE AIR).



GAS PIPING ISOMETRIC

NO SCALE

NOTE: USE 1" DIA. PIPING FOR ALL FLOOR PLAN LAYOUTS, INCLUDING. ALTERNATE FIXTURE LOCATIONS. THE PLUMBING CONTRACTOR SHALL VERIFY ALL SIZING, AND FITTINGS, PRIOR TO INSTALLATION.

Job no. : 1BM/1BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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**ELECTRICAL / HVAC PLANS
SYMBOL SCHEDULE / NOTES
PHASE TWO - 1 BDRM / 1 BATH - LEFT PARKING**

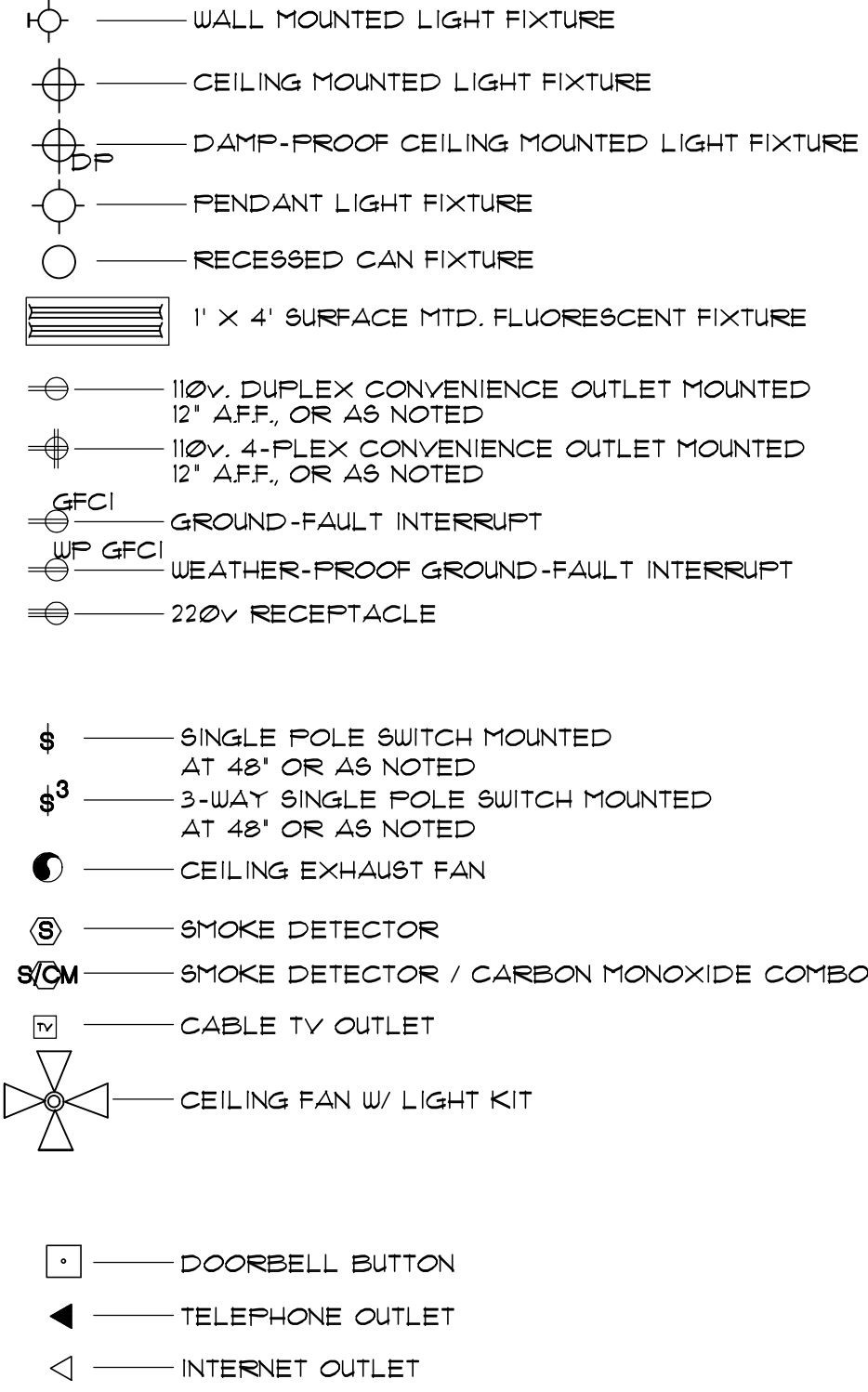
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

M-1.0

ELECTRICAL SYMBOLS



ENERGY NOTES:

- WINDOW DOOR & SKYLIGHTS
PENETRATION U-FACTOR WINDOW AND DOORS TO BE .40
STICKER SHALL REMAIN ON WINDOWS, SKYLIGHTS & DOORS
UNTIL INSPECTED AND APPROVED FOR THE ABOVE REQUIREMENT.
THE FOUNDATION SLAB INSULATION MAY BE ELIMINATED IF
USING A MAX. 0.32 U-FACTOR ON GLAZING.
- CEILING
CEILING INSULATION TO BE MIN. R-30 (ZONE 2) R-38 (ZONE 4)
MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOIST AND
MARKED WITH THE MIN. INSTALLED THICKNESS BY ONE INCH
HIGH NUMBERS. A MIN. OF ONE MARKER SHALL BE INSTALLED
FOR EVERY 300 SQ. FT. OF AREA WITH NUMBERS TO FACE
THE ATTIC ACCESS OPENING. MARKERS MUST BE INSTALLED
AT ROUGH IN OR WALL INSULATION INSPECTIONS.
- WOOD FRAMED EXTERIOR WALLS (MIN. R-19 FOR 2 X 6 WALLS)
WALL INSULATION SHALL BE IN SUBSTANTIAL CONTACT WITH
THE SURFACE BEING INSULATED TO AVOID AIR PATHS THAT
BYPASS THE INSULATION.
INSULATION SHALL NOT BE COMPRESSED BY INSET STAPLING
OF THE BATT INSULATION OR OTHER MEANS
INSULATION SHALL FILL ALL CAVITIES COMPLETELY BY CUTTING
INSULATION AROUND ELECTRICAL OUTLETS AND SWITCHES AND
BY SLICING INSULATION TO FIT BEHIND AND IN FRONT OF
ELECTRICAL WIRING IN THE CAVITY AND PLUMBING PIPING
BAND JOISTS AND OTHER INTERSTITIAL FLOOR ELEMENTS
OF THE WALL SHALL BE INSULATED
- NOT USED.
- BUILDING THERMAL ENVELOPE
THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS
SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND
CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED
WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR
BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

ELECTRICAL GENERAL NOTES

- ALL WORKMANSHIP, MATERIALS, AND METHODS SHALL CONFORM TO
N.E.C. 2017 EDITION.
- ALL HABITABLE ROOMS SHALL BE PROVIDED W/ ELECTRICAL OUTLETS
SO THAT NO PART OF THE WALL IS MORE THAN 6' FROM AN OUTLET.
WALL SECTIONS 2' OR LARGER & KITCHEN COUNTERS WIDER THAN 12"
SHALL BE SERVICED BY A RECEPTACLE.
- ALL RECEPTALS IN BATHROOMS, OUTSIDE & WITHIN 6' OF
WATER SOURCE SHALL BE GFCI.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED ON SEPARATE
CIRCUIT & SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING &
SHALL HAVE BATTERY BACKUP. CONNECT NEW SMOKE DETECTORS TO
NEW AUDIBLE SYSTEM INSIDE EXISTING RESIDENCE.
- LIGHTS IN CLOSETS SHALL BE 18" FROM SHELVING (MEASURED HORIZT.
OR BE RECESSED
- PROVIDE MINIMUM TWO 20A BRANCH CIRCUITS FOR RECEPTACLES
LOCATED IN THE KITCHEN, PANTRY, EATING AREA, A SEPARATE 20A
BRANCH CIRCUIT TO THE LAUNDRY EQUIP., AND A SEPARATE 20A
BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE
15 & 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS,
LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS,
RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR
AREAS SHALL BE PROTECTED BY COMBINATION TYPE ARC FAULT
CURCUIT INTERRUPTERS INSTALLED TO PROVIDE PROTECTION OF THE
- FIXTURES, FITTINGS, BOXES AND RECEPTACLES LOCATED IN DAMP
OR WET LOCATIONS SHALL BE 'LISTED' TO BE SUITABLE FOR
SUCH CONDITIONS.
- CONTRACTOR TO EMBED 20' OF #4 AWG COPPER WIRE IN
FOOTING FOR ELECTRICAL SERVICE GROUND. PROVIDE
BONDING TO THE EXTERIOR WATER PIPING AND ABOVE
GROUND PORTION OF GAS PIPING SYSTEM.
- IN KITCHEN AND DINING ROOMS A RECEPTACLE OUTLET SHALL
BE INSTALLED AT EACH WALL COUNTER SPACE 12' OR WIDER
SO THAT AT NO POINT ALONG THE WALL IS MORE THAN 24"
FROM A RECEPTACLE OUTLET AND SHALL BE GFCI PROTECTED.
- PROVIDE AT LEAST ONE WEATHER PROOF RECEPTACLE OUTLET
NOT MORE THAN 6' ABOVE GRADE AND GFCI PROTECTED
AT THE FRONT AND BACK OF EACH DUELLING. ALL RECEPTACLES
INSTALLED OUTDOORS MUST BE GFCI PROTECTED.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO YAVAPAI COUNTY
DARK SKY ORDINANCE.
- IN ATTICS, A SERVICE OUTLET & LIGHTING FIXTURE LOCATED NEAR THE
APPLIANCE REQUIRING SERVICE SHALL BE CONTROLLED
BY A SWITCH AT THE ENTRY OF THE ATTIC. (REQUIRED FOR
ATTIC MOUNT FURNACES).

- ALL JOINTS SEAMS AND PENETRATIONS.
- SITE BUILT WINDOWS, DOORS AND SKYLIGHTS
- OPENINGS BETWEEN WINDO AND DOOR ASSEMBLIES AND
THEIR RESPECTIVE JAMBS AND FRAMING.
- UTILITY PENETRATIONS.
- DROPPED CEILINGS OR CHASES ADJACENT TO THE
THERMAL ENVELOPE.
- KNEE WALLS
- WALLS AND CEILINGS SEPERATING GARAGE FROM
CONDITIONED SPACES.
- BEHIND TUB AND SHOWERS ON EXTERIOR WALLS
- COMMON WALLS BETWEEN DUELLING UNITS
- OTHER SOURCES OF INFILTRATION.

- FENESTRATION AIR LEAKAGE
WINDOW, SKYLIGHT AND SLIDING GLASS DOOR SHALL HAVE
AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER
SQUARE FOOT, AND SLIDING DOORS NO MORE THAN 0.5 CFM.
SPECIFICATIONS SHALL BE LISTED ON THE MANUF. LABEL.
(USE TYVEK HOUSE WRAP, INSTALL PER MANUF. SPECS)

- RECESSED LIGHTING
RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL
ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE
BEING:

- IC RATED AND LABELED WITH ENCLOSURES THAT ARE
SEALED OR GASKETED TO PREVENT AIR LEAKAGE TO
CEILING CAVITY OR UNCONDITIONED SPACE; OR
- IC RATED AND LABELED AS MEETING ASTM E 203; OR
- LOCATED INSIDE AIRTIGHT SEALED BOX WITH CLEARANCES
OF AT LEAST 0.5 INCH FROM COMBUSTIBLE MATERIAL AND
3 INCHES FROM INSULATION.

- HEAT PUMP SUPPLEMENTARY HEAT

- HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE
HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST
PREVENT SUPPLEMENTAL HEAT OPERATION WITHN THE HEAT
PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

- CONTROLS
AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH
SEPARATE HEATING & COOLING SYSTEM.

- DUCT INSULATION
SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MIN.
OF R-8 (EXCEPT DUCTS THAT COMPLETELY INSIDE THE BUILDING
THERMAL ENVELOPE.)

- SEALING
ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING
CAVITIES (NOT FOR AIR SUPPLY) USED AS DUCTS SHALL BE
SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION
M1601.3 OF THE IRC.

- MECHANICAL SYSTEM PIPING INSULATION
MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS
ABOVE 105 D. F OR BELOW 55 D. F SHALL BE INSULATED TO
A MIN. OF R-2

- CIRCULATING HOT WATER SYSTEMS

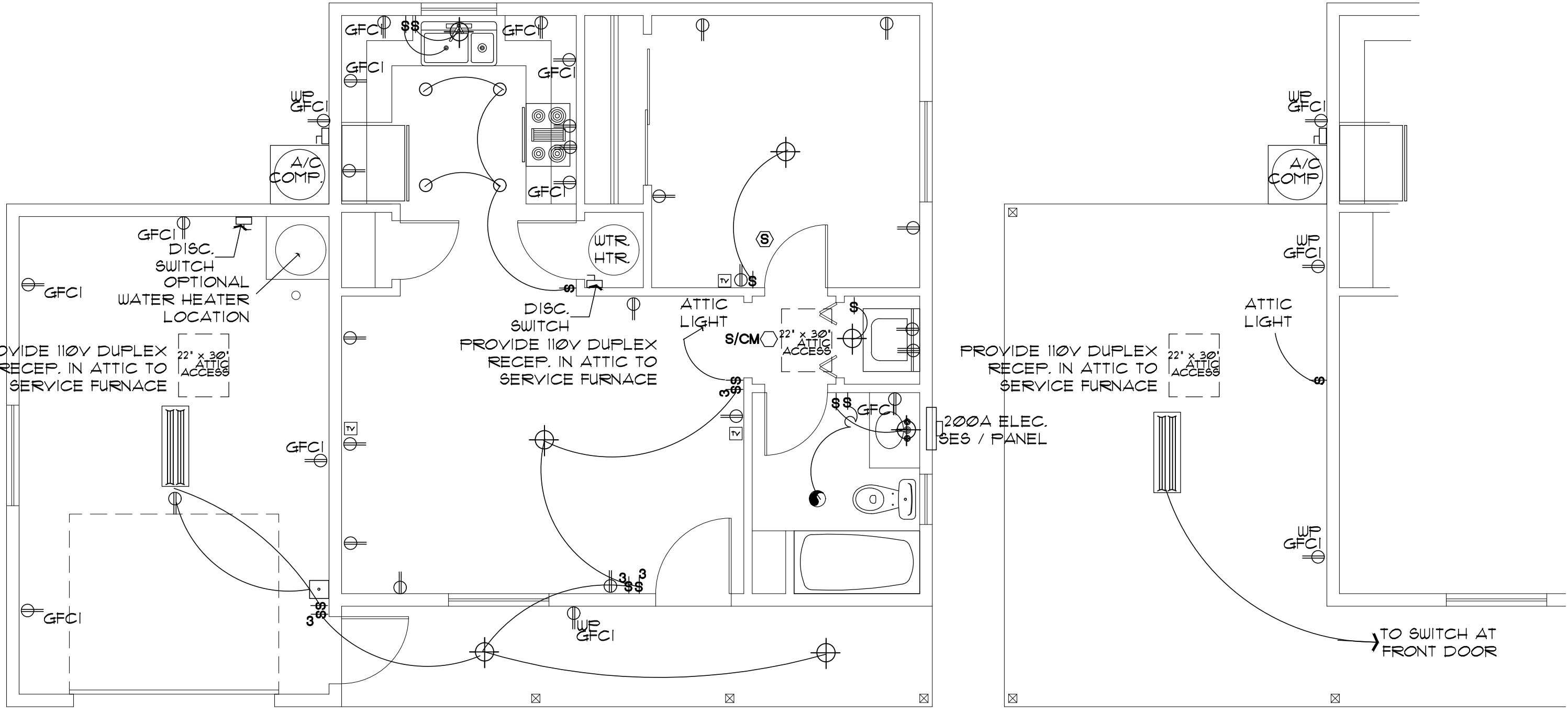
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE
INSULATED TO AT LEAST R-2. ALL NEW RESIDENCES
WITH 2 OR MORE BATHROOMS SHALL HAVE A
CIRCULATING HOT WATER SYSTEM. CHWS SHALL INCLUDE AN
AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN
TURN OFF THE HUCP WHEN THE SYSTEM IS NOT IN USE. THERMAL
SIPHONING SYSTEMS SHALL HAVE A VALVE TO REDUCE FLOW.
ALTERNATE SYSTEM SHALL BE CONSIDERED.

- MECHANICAL VENTILATION
OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC
GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM
IS NOT OPERATING.

- EQUIPMENT SIZING
HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE
WITH SECTION M1401.3 OF THE IRC.

- AIR LEAKAGE

- AIR FLOW RETARDERS (HOUSE WRAPS) MUST BE:
A. IMPERMEABLE TO AIR FLOW.
B. CONTINUOUS OVER THE ENTIRE BUILDING ENVELOPE
C. ABLE TO WITHSTAND THE FORCES THAT MAY ACT
ON IT DURING AND AFTER CONSTRUCTION.
D. DURABLE OVER THE EXPECTED LIFETIME OF THE BUILDING.
E. ALL SEAMS AND EDGES MUST BE SEALED/TAPED PER MANUF
SPECIFICATIONS



GARAGE OPTION

CARPORT OPTION

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

Job no. : 1BM/1BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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Scales as stated herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.



Mark Rogers, Architect, PLLC

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ELECTRICAL PLANS

SYMBOL SCHEDULE / NOTES
PHASE TWO - 1 BDRM / 1 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

E-1.0