

2018
IRC - IBC

2006
IECC

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT (1-800-782-5348)
YAVAPAI COUNTY

2018 IRC R311.3 There shall be a floor or landing on each side of the exterior door. The width of the landing shall not be less than the door served with a minimum distance of 36" measured in the direction traveled.

The inspector may require further clarification on stamped plans. This may include, but not limited to a special inspection and /or a cross section detail stamped and signed by the Designer/Architect/Engineer of record.



CAUTION
Yavapai County permitted building plans do not relieve the Owners or General Contractor from their responsibilities to conform to all adopted building codes. Every effort has been made to provide a thorough plan review, however plans may contain irregularities. If plans do not contain the proper information or details the Owner/General Contractor Shall Not proceed with the project until the issue has been resolved through Yavapai County and any professional involved in the project

Per 2018 IRCR309.1, R309.2, and IBC 406.3.3: Garage/ carport surfaces used for parking of vehicles shall be sloped to drain liquids to the main vehicle entry doorway or an approved drain

Effective April 20, 2006, Fully shielded fixtures are required for all exterior lamps

The mechanical equipment, design and system have been reviewed for the basic design ONLY. The HVAC contractor shall review the plans/ calculations to assure the design is adequate and complies with all applicable codes and installation

*PARCEL:	
*OWNER/APPLICANT:	
PERMIT #:	
PROJECT:	HOME OF MY OWN - 2 BED LEFT (2024 PLANS)

* Information required to be filled out by the applicant.

Yavapai County Ordinance, Section 112.6 Drainage across Property Lines.
Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be prevented by installation of non-erosive down-drains or other devices.

THE ENGINEERED GEOTECHNICAL REPORT IS A PART OF THE PERMITTED DOCUMENTS, AND SHALL BE ONSITE AT ALL TIMES WITH THE PERMITTED PLANS.

Per Article 210.12 of the 2017 NEC
Arc fault circuit interupters are required

THE GAS PIPING INSTALLER SHALL VERIFY THE SYSTEM IS OF SUCH SIZE FOR THE MAXIMUM DEMAND AND TO MEET EACH APPLIANCE INLET AT NOT LESS THAN THE MINIMUM SUPPLY PRESSURE REQUIRED

THIRD PARTY SPECIAL INSPECTIONS REQUIRED: (Third party special inspections are not in lieu of required building inspections.)	
The following items require special inspections:	YES <input checked="" type="checkbox"/>
- SOILS CONDITION - SOILS COMPACTION - BOTTOM OF FOOTING COMPACTION - AND OTHER INSPECTIONS REQUIRED BY THE GEOTECHNICAL ENGINEER.	
Reports to be supplied to the Building Inspector	

It is imperative that the owner /contractor print ALL permit documents from the online portal before inspection.

CAUTION:
Areas within Yavapai County are likely to have expansive, compressible, shifting or other unknown soils conditions. The building official may require a soils test to determine the soils characteristic at a particular location.

Applicant acknowledges that plans stamped by a registrant will not be fully reviewed by staff and that approvals are contingent upon favorable field inspections. Should conditions in the field prove non-conductive to code requirements, significant delays may be realized. Applicant attests that the sealed plans are in compliance with all applicable codes and ordinances

A separate permit for alternative electric source is required. The alternative electric source permit will need to be issued and finalized before a building final can be obtained

Foam spray shall comply with the ES Reports and applicable codes. It is the responsibility of the owner and/or contractor(s) to review reports and understand requirements before application. Ignition/thermal barrier is required unless otherwise exempt. Failure to comply may cause additional cost to the owner/contractor(s).

GENERAL GRADING NOTES:
Where the lot line walls, slopes, or other physical barriers prohibit 6" of fall within 10', drains or swales shall be provided to insure drainage away from the structure.
MAINTAIN MINIMUM 2:1 SLOPE
The faces of cut and fill slopes shall be prepared and maintained to control against erosion. The protection for the slopes shall be installed as soon as practicable and prior to requesting final approval.
NO GRADING WITHIN 2' OF PROPERTY LINES



To avoid construction delays and added construction fees
Contact APS BEFORE you start construction;
APS Prescott Office: 928-443-6797; Prescottcontrol@aps.com
APS Cottonwood Office: 928-646-8502; Verdecontrol@aps.com
APS Wickenburg Office: 602-371-6200; Wickenburgcontrol@aps.com

The property owner shall be responsible to verify fire sprinkler requirements with the governing fire district

Provide at least one window or exterior door approved for emergency escape or rescue for every room used for sleeping purposes. 2018 IRC R310.1

IMPORTANT!
Footings will not be inspected until the property corners are properly pinned, flagged and easily identifiable to the building inspector.

Interconnected smoke detectors are required for this project per 2018 IRC R314.3.1. Each sleeping room, outside each sleeping room and on each floor level.

APPROVAL IS SUBJECT TO FIELD INSPECTION AND COMPLIANCE WITH ALL RELEVANT CODES, LAWS AND ORDINANCES

RAIN GUTTERS & DOWNSPOUTS ARE REQUIRED

Positive drainage away from the structure is required. Refer to the geotechnical report for an additional requirements

Reviewed for
Design Criteria Only

No slab grade or floor framing inspections will be conducted without compaction reports.

Slab insulation shall be approved for the under slab application. Provide an ES Report and manufacturer's specifications if not using the pre-approved products below:
1. Extruded polystyrene insulation Dow square edge (Blue)
2. Extruded polystyrene Owen corning Foamular 250 (Pink)

Truss calculations to be on site at the time of frame inspection

Per 2018 YCABC Ordinance 2014-1 Section 110.3.4: Pre-slab inspections are required

BIG
STAMP

REVIEWED FOR DESIGN
CRITERIA ONLY

SEE ATTACHED COVER SHEET FOR ALL
STAMPS. IT IS THE RESPONSIBILITY OF THE
OWNER/APPLICANT TO REVIEW AND
ACKNOWLEDGE APPLICABLE STAMPS.

BOARD OF SUPERVISORS

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DEVELOPMENT SERVICES
JEREMY DYE, DIRECTOR
MARK LUSSON, ASSISTANT DIRECTOR
WARREN COLVIN, CHIEF BUILDING OFFICIAL

HOME OF MY OWN
Phase Two
Single-Family Housing
TWO BEDROOM / TWO BATH - LEFT PARKING
for

YAVAPAI COUNTY
1015 Fair Street
Prescott, Arizona

INDEX TO DRAWINGS	
CS	COVER SHEET W/ PROJECT INFORMATION
A-1.0	FLOOR PLANS / OPENING SCHEDULES
A-2.0	FOUNDATION PLANS
A-3.0	ROOF FRAMING PLANS
A-4.0	BRACE WALL PLANS
A-5.0	EXTERIOR ELEVATIONS
A-6.0	BUILDING SECTIONS
A-7.0	DETAILS
M-1.0	MECHANICAL
E-1.0	ELECTRICAL

PROJECT INFORMATION	
ALL WORK SHALL CONFORM TO ALL YAVAPAI COUNTY ADOPTED CODES, ORDINANCES AND POLICIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 INTERNATIONAL PLUMBING CODE (IPC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2017 NATIONAL ELECTRIC CODE (NEC) 2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	
LIVABLE:	1,080 SQ. FT.
CARPORT/ALT. GARAGE:	517 SQ. FT.
COVERED ENTRY:	144 SQ. FT.
TOTAL UNDER ROOF:	1,741 SQ. FT.
OPTION WITHOUT GARAGE, OR CARPORT:	
LIVABLE:	1,080 SQ. FT.
COVERED ENTRY:	144 SQ. FT.
TOTAL UNDER ROOF:	1,224 SQ. FT.
OCCUPANCY: R-3 (Single-Family Residential)	
CONSTRUCTION TYPE: V-B	

THESE HOMES WERE DESIGNED FOR A MAXIMUM ELEVATION OF 6200 FEET (40 LB. SNOW LOAD). THEY WERE NOT DESIGNED FOR A TILE ROOF.

GENERAL NOTES

1. DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE. DIMENSIONS ARE NOT TO BE SCALED FROM THE WORKING DRAWINGS.
2. BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK, CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF YAVAPAI COUNTY DEVELOPMENT SERVICES.
3. GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.
4. GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.
5. DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE SAME.
6. VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH, REGULAR FINISH WITH NO IRREGULARITIES.
7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THOROUGHLY REVIEW THE PLANS AND TO NOTIFY YAVAPAI COUNTY DEVELOPMENT SERVICES OF ANY DISCREPANCIES. YAVAPAI COUNTY NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR MATERIALS IMPROPERLY ORDERED OR INSTALLED.
8. FAILURE BY THE GENERAL CONTRACTOR, OR SUB-CONTRACTORS, TO AQUAINT THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR WORK PROPERLY.
9. APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION BY YAVAPAI COUNTY PERSONNEL.
10. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW, OR DOOR, FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.



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COVER SHEET
PHASE TWO – 2 BD RM / 2 BATH – LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:
CS

Job no. : 2BD/2BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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DOOR SCHEDULE

NO.	SIZE	H.	T.	DOOR TYPE	REMARKS
101	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	
102	2'-6"	6'-8"	1-3/4"	SOLID-CORE FLUSH WOOD	IF USING GAS WATER HEATER, PROVIDE 12" X 12" VENTS, ONE AT THE TOP, AND BOTTOM OF DOOR
103	3'-0"	6'-8"	1-3/4"	SOLID-CORE FLUSH WOOD	
104	3'-0"	6'-8"	1-3/8"	SOLID-CORE FLUSH WOOD	SELF-CLOSING & SELF-LATCHING
105	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
106	2'-6"	6'-8"	1-1/8"	BI-FOLD	
107	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
108	5'-0"	6'-8"	1-1/8"	SLIDING BI-PASS	
109	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
110	5'-0"	6'-8"	1-1/8"	BI-FOLD	
111	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
112	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
113	5'-0"	6'-8"	1-3/8"	SLIDING BI-PASS	
114	16'-0"	7'-0"	-	OVERHEAD GARAGE DOOR	
115	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	

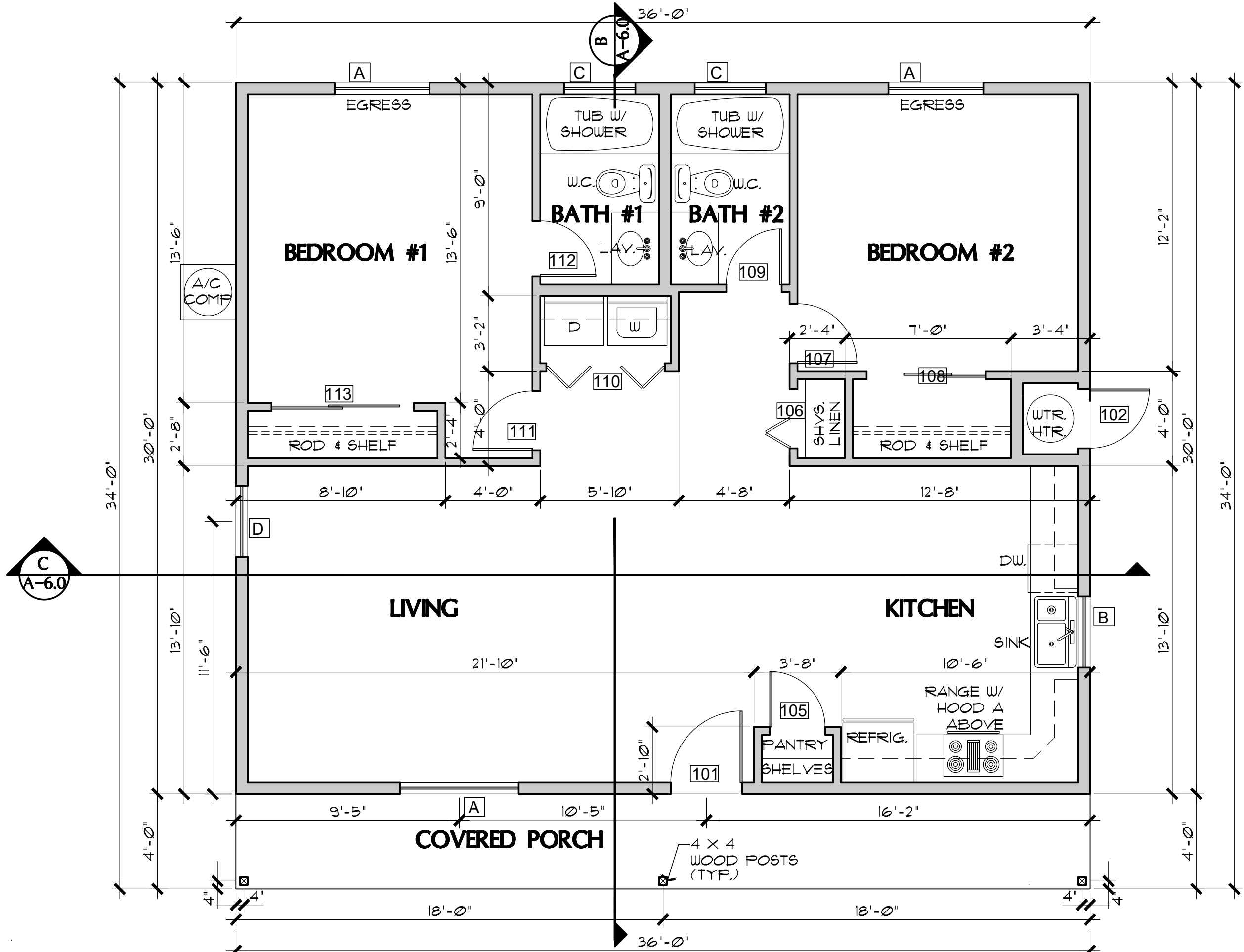
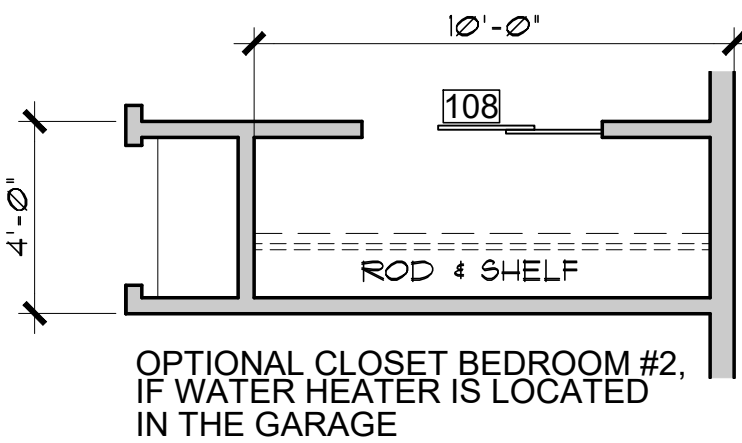
WINDOW SCHEDULE (8' plate height)

WIN.	SIZE	TYPE	REMARKS
A	4040	XO	EGRESS AT BEDROOM
B	3030	XO	
C	3010	XO	
D	3040	XO	

WINDOW SCHEDULE (9' plate height)

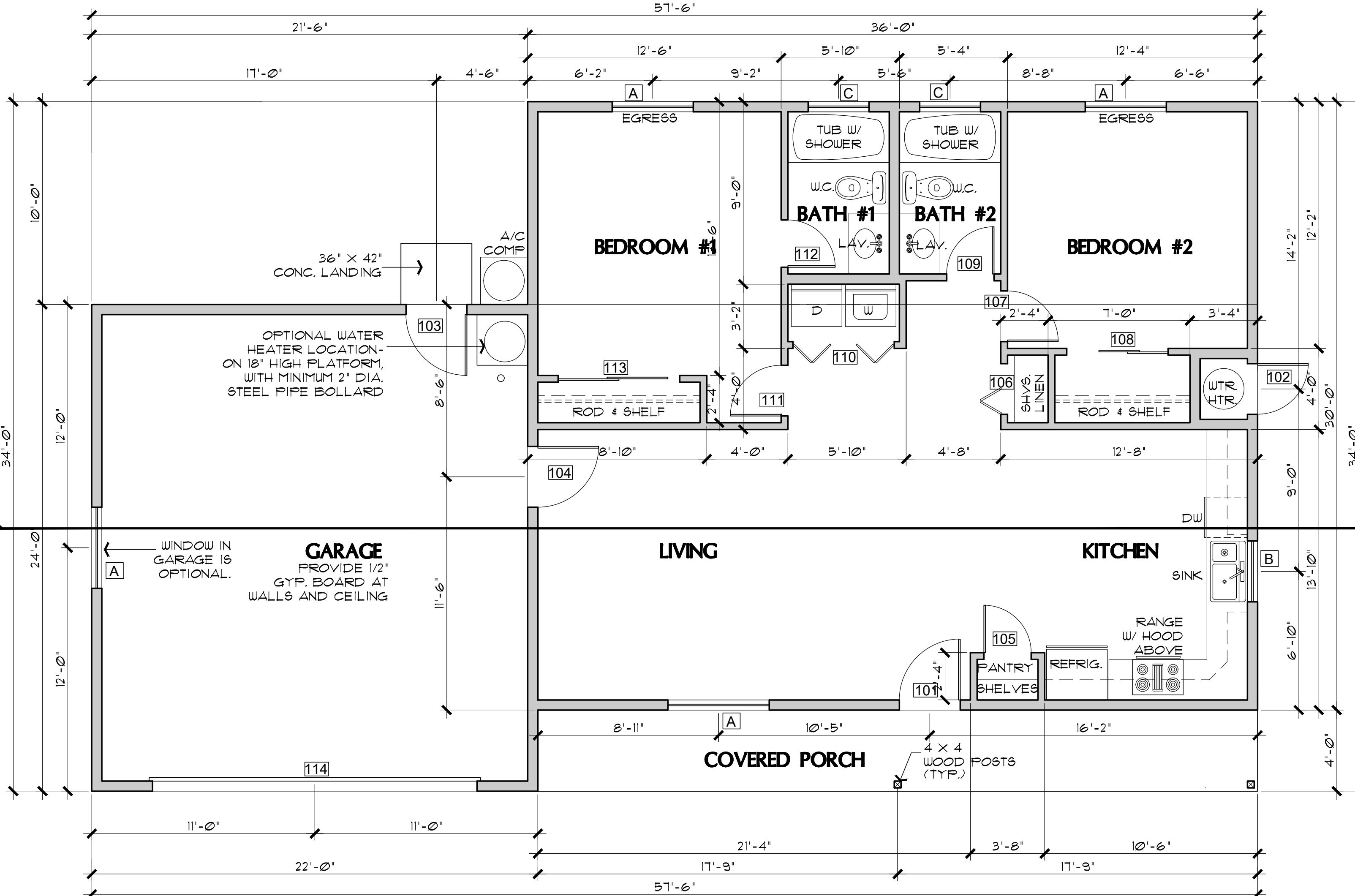
WIN.	SIZE	TYPE	REMARKS
A	4050	XO	EGRESS AT BEDROOM MUST HAVE MAX. 44" SILL HEIGHT ABOVE FLOOR
B	3030	XO	
C	3010	XO	
D	3040	XO	

NOTE: FENESTRATION IN ZONE 2 (ELEVATIONS BELOW 3500 FT.) SHALL HAVE A MAXIMUM U-FACTOR OF 0.75, AND A MAXIMUM FENESTRATION SHGC FACTOR OF 0.40. FENESTRATION IN ZONE 4 (ELEVATIONS 3500 FT. AND ABOVE) SHALL HAVE A MAXIMU U-FACTOR OF 0.40. THE SHGC FACTOR IN ZONE 4 IS NOT APPLICABLE.



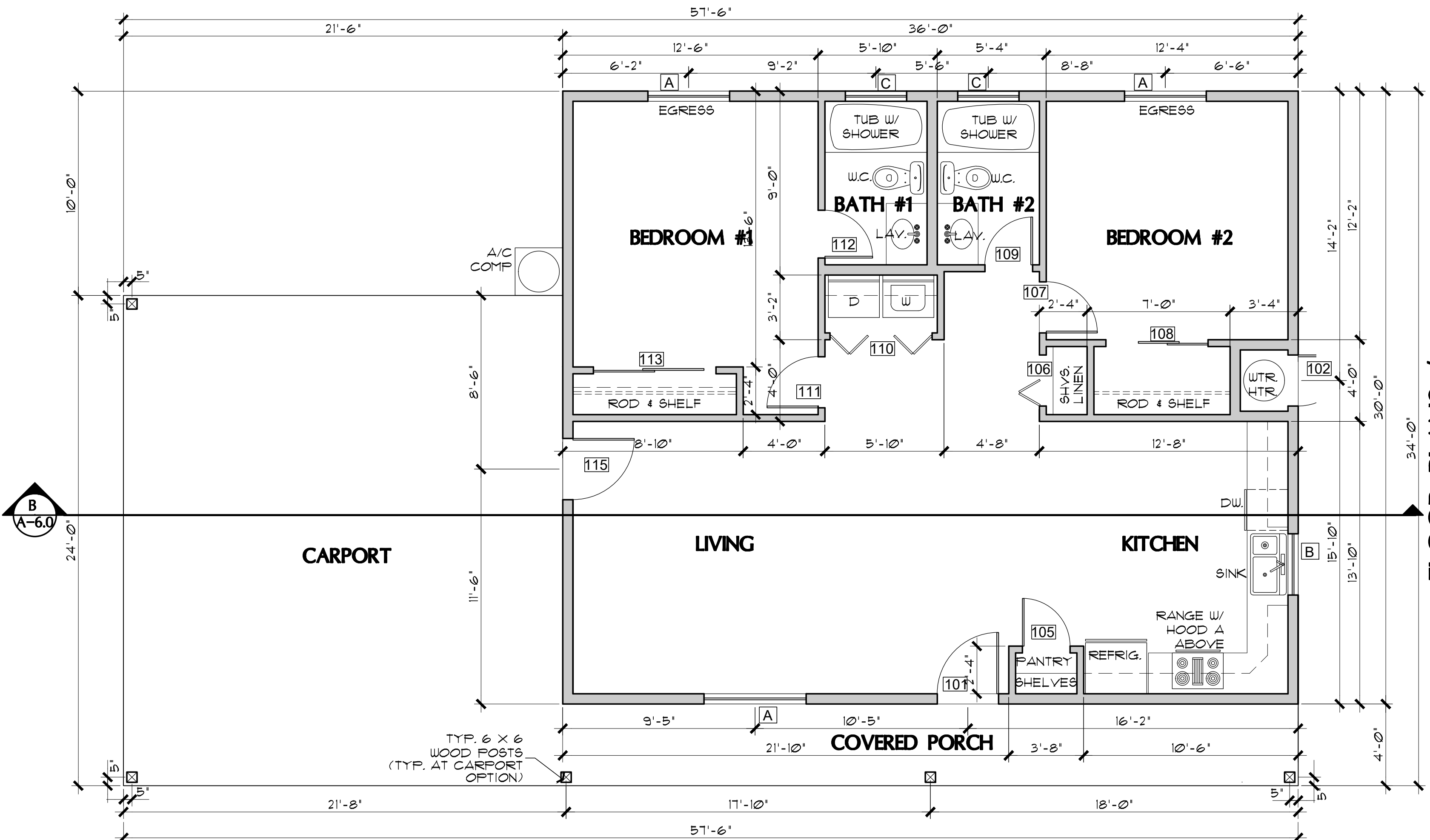
FLOOR PLAN (without Garage or Carport option)

SCALE: 1/4" = 1'-0"



FLOOR PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

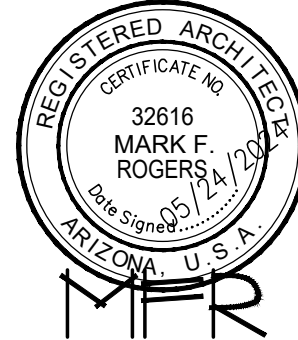


FLOOR PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

Job no. : 2BD/2BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

FLOOR PLANS /
OPENING SCHEDULES
PHASE TWO - 2 BD RM / 2 BATH - LEFT PARKING

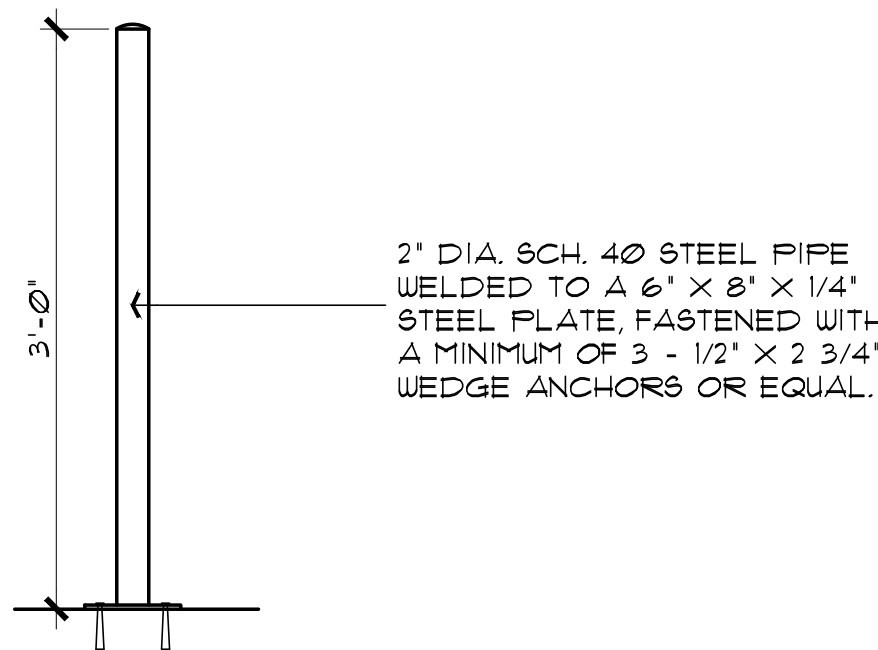
SHEET NO:
A-1.0



1. FOOTINGS TO BE A MIN. OF 8" THICK IN 18" MIN. UNDISTURBED SOIL.
2. FOOTINGS AND INTERIOR FLATWORK TO BE MIN. 2500 P.S.I. MIN COMPRESSIVE STRENGTH AT 28 DAYS.
3. FOUNDATION SUPPORTED WOOD TO EXTEND MIN. 6" ABOVE FINISH GRADE
4. FOUNDATION PLATES AND SILLS SHALL BE BOLTED TO FOUNDATION WITH MIN. 1/2" BOLTS 6'-0" O.C., 12" FROM CORNERS AND EMBEDDED 7" INTO FOUNDATION WALL
5. EXTERIOR FLATWORK SLOPE TO BE 1/4" PER FOOT.
6. CONTRACTOR TO EMBED 20' OF #4 G.A. COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND.
7. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
8. ALL EXTERIOR PLATES, LOAD BEARING AND NON LOAD BEARING SHALL BE PRESSURE TREATED, LESS THAN 8" ABOVE GRADE
9. FILL BEING PLACED THAT EXCEEDS 2' WILL REQUIRE A CERTIFIED COMPACTION TEST AND REPORT.

NOTE: THE FOOTINGS SIZE, THICKNESS, AND BOTTOM OF FOOTING DEPTH SHALL BE PER THE GEOTECHNICAL REPORT/ENGINEER'S REQUIREMENTS. THIS SHALL INCLUDE ANY OVER EXCAVATIONS, ENGINEERED PAD REQUIREMENTS, AND/OR A CHANGE IN DEPTH, AND TYPE OF BASE COURSE UNDER THE CONCRETE SLABS.

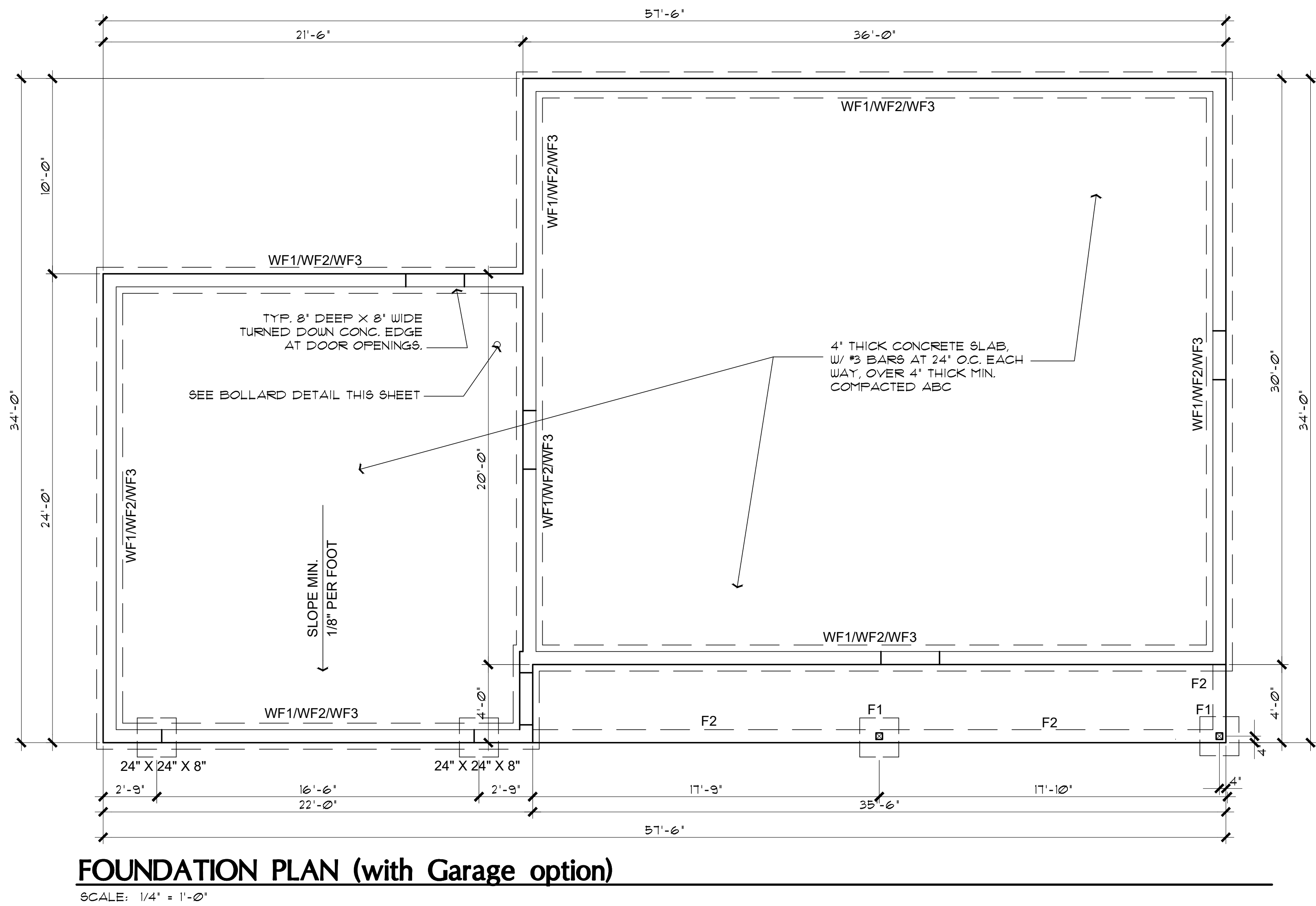
SEE SHEET A-7.0 FOR FOOTING DETAILS



BOLLARD DETAIL

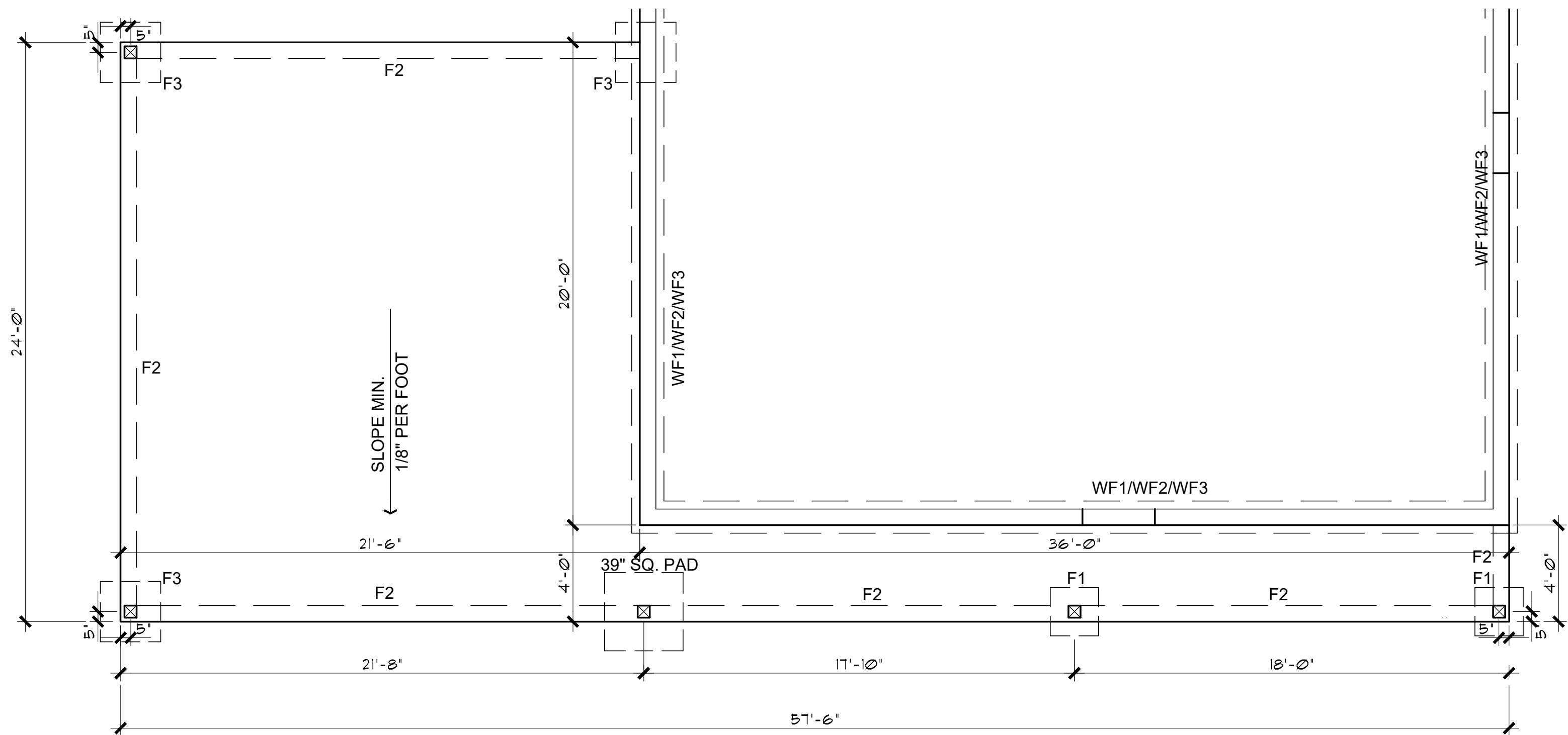
SCALE: 1/4" = 1'-0"

THIS DETAIL APPLIES ONLY IF
THE WATER HEATER IS LOCATED
IN THE GARAGE.



FOUNDATION PLAN (with Carport option)

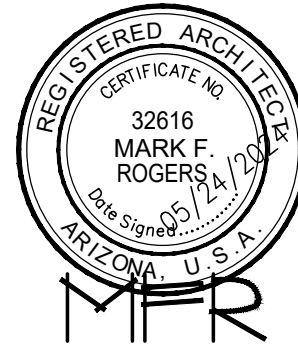
SCALE: 1/4" = 1'-0"



Job no. : 2BD/2BA LEFT
Date : MAY 24, 2024
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FOUNDATION PLANS

PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

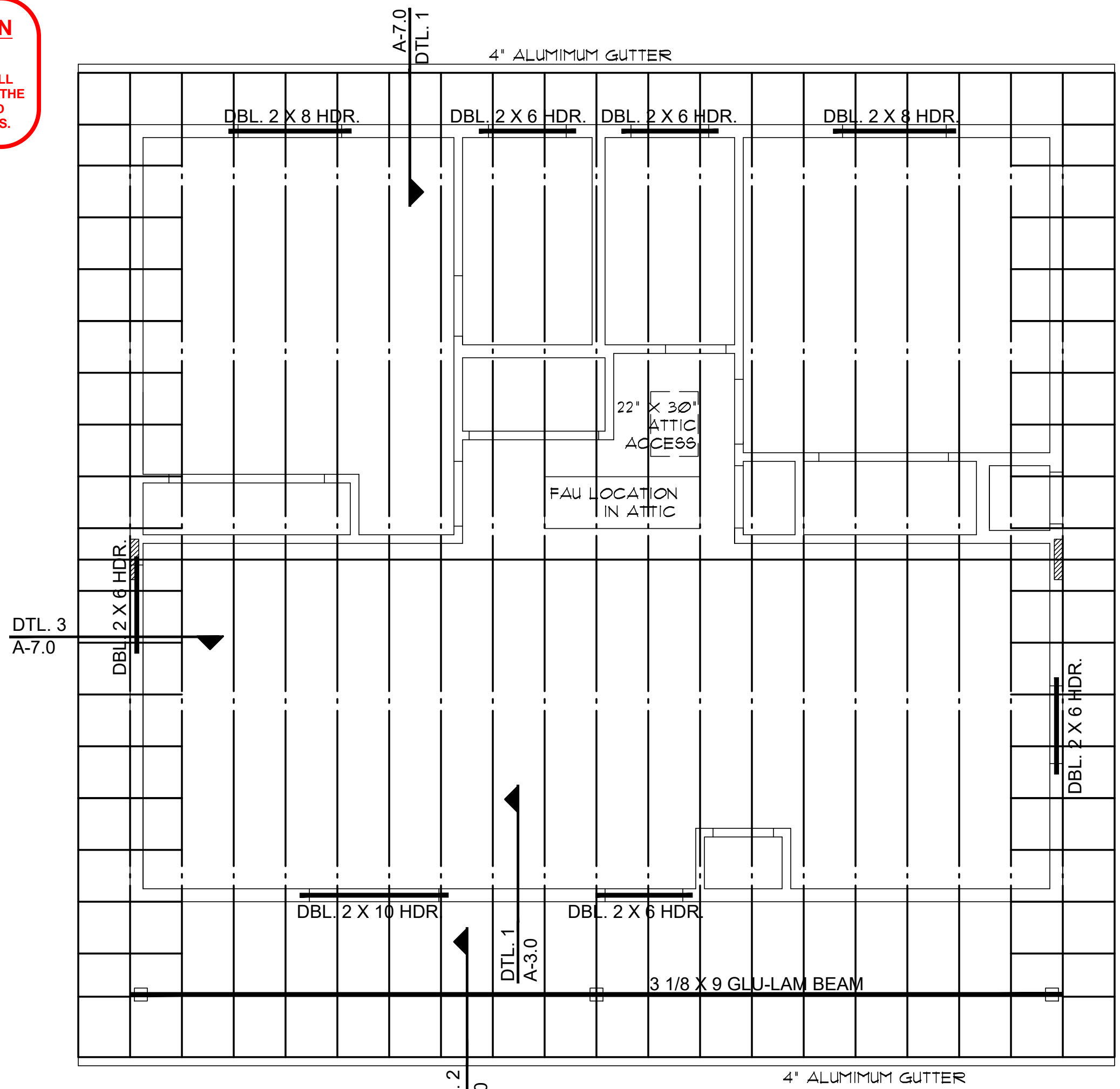
SHEET NO:

A-2.0

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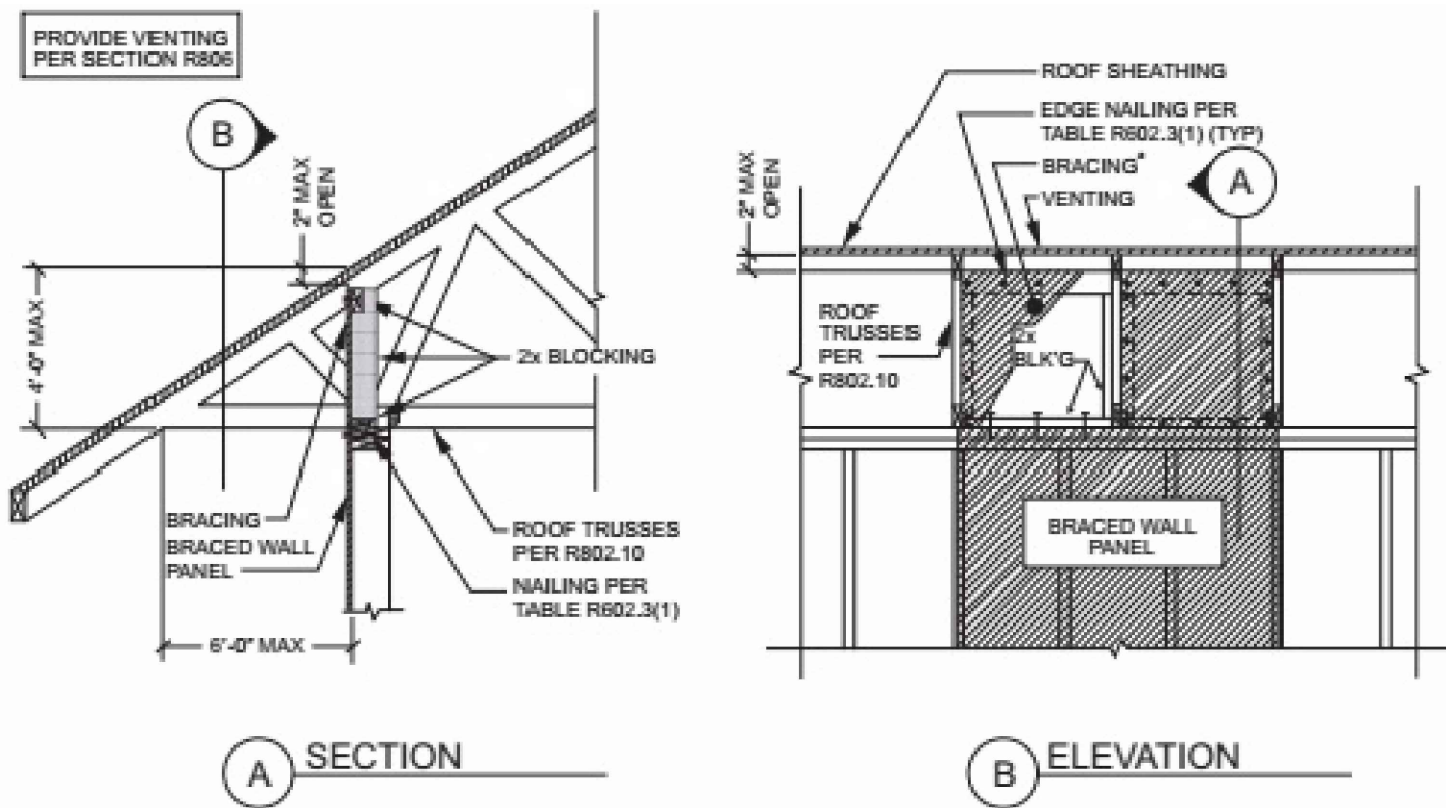
PROPERTY OF YAVAPAI COUNTY, AZ



ROOF FRAMING PLAN (without optional Garage, or Carport)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION
REQUIRED 1224 SQ. FT. / 300 = 4 SQ. FT. (864 SQ. IN.)
USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT
288 SQ. IN. AT GABLE ENDS
288 SQ. IN. MIN. BIRDBLOCKS TO PROVIDE FOR LOW VENTILATION



BRACED WALL PANEL CONNECTION OPTION
AT PERPENDICULAR ROOF TRUSSES

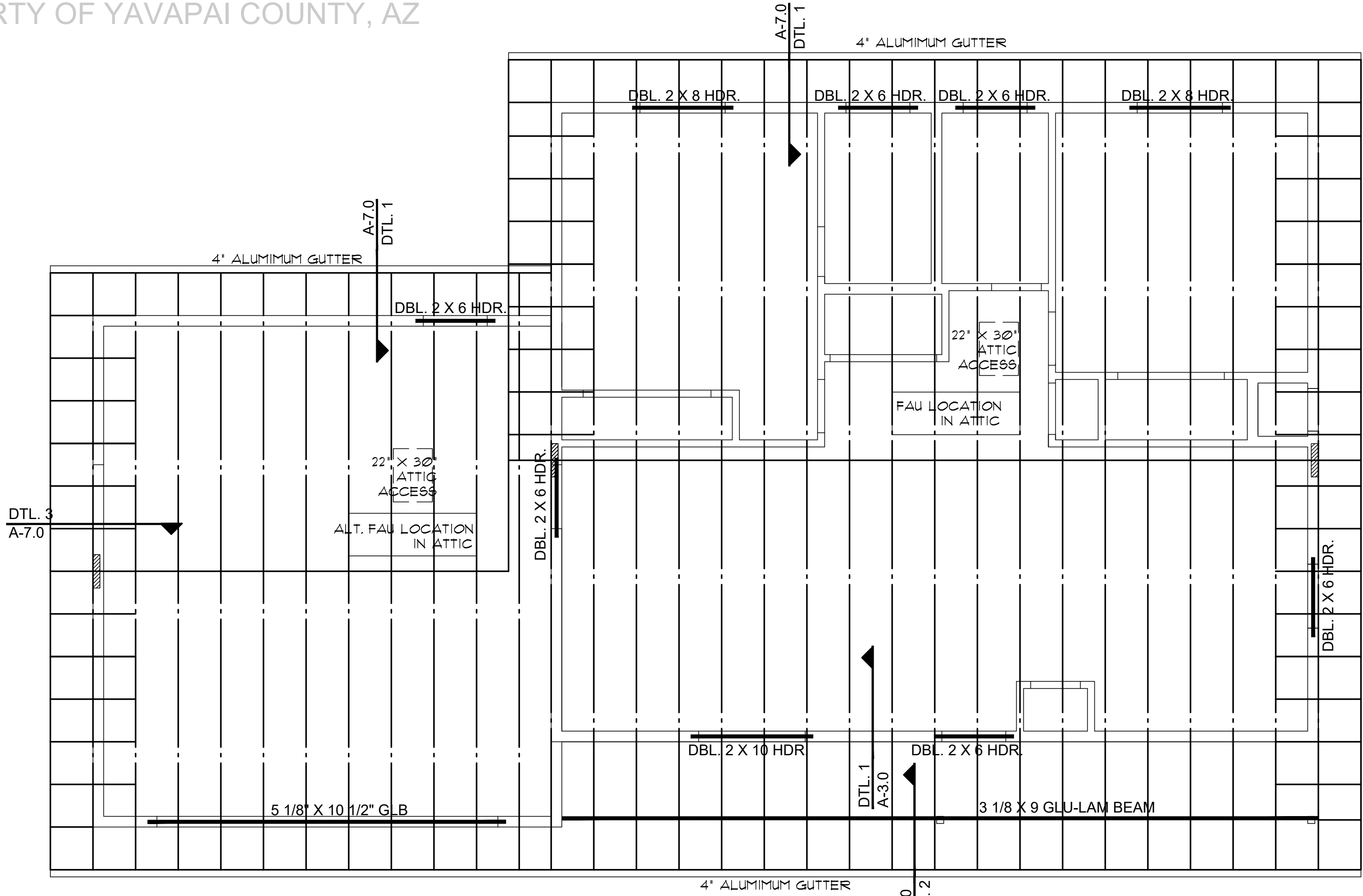
SCALE: 1 1/2" = 1'-0" 2018 IRC FIGURE R602.10.8.2(3)

ROOF NOTES

1. REFER TO TRUSS CALCULATIONS FOR FINAL ROOF FRAMING DESIGN.
2. SIMPSONS H25A HANGERS TO BE APPLIED @ ALL TRUSS ENDS
3. ROOF SHEATHING TO BE 1/2" CDX PLYWOOD OR OSB.
4. SUPPORTED MEMBERS OF GLB, 4 GIRDERS OR OTHER CONCENTRATED LOADS SUPPORTED BY WALL OR PIER SHALL HAVE BEARING AT LEAST AS WIDE AS THE ROOF MEMBER
5. ROOF PITCH 4:12 (TYP.).
6. OVERHANGS TO BE 24".
7. FURNACE IN ATTIC: PROVIDE A 24" SOLID PASSAGEWAY TO CONTROL SIDE OF AFFLIANCE AND A 30" SERVICE SPACE ON THE CONTROL SIDE OF THE AFFLIANCE (REQUIRED FOR ATTIC MOUNT FURNACES)
8. ALL RAFTERS SHALL BE DOUGLAS FIR #2 (SIZE PER PLAN) ALL STUDS SHALL BE HEM FIR #2 (SIZE PER PLAN)

SEE ROOF FRAMING DETAILS SHEET A7.0

PROPERTY OF YAVAPAI COUNTY, AZ

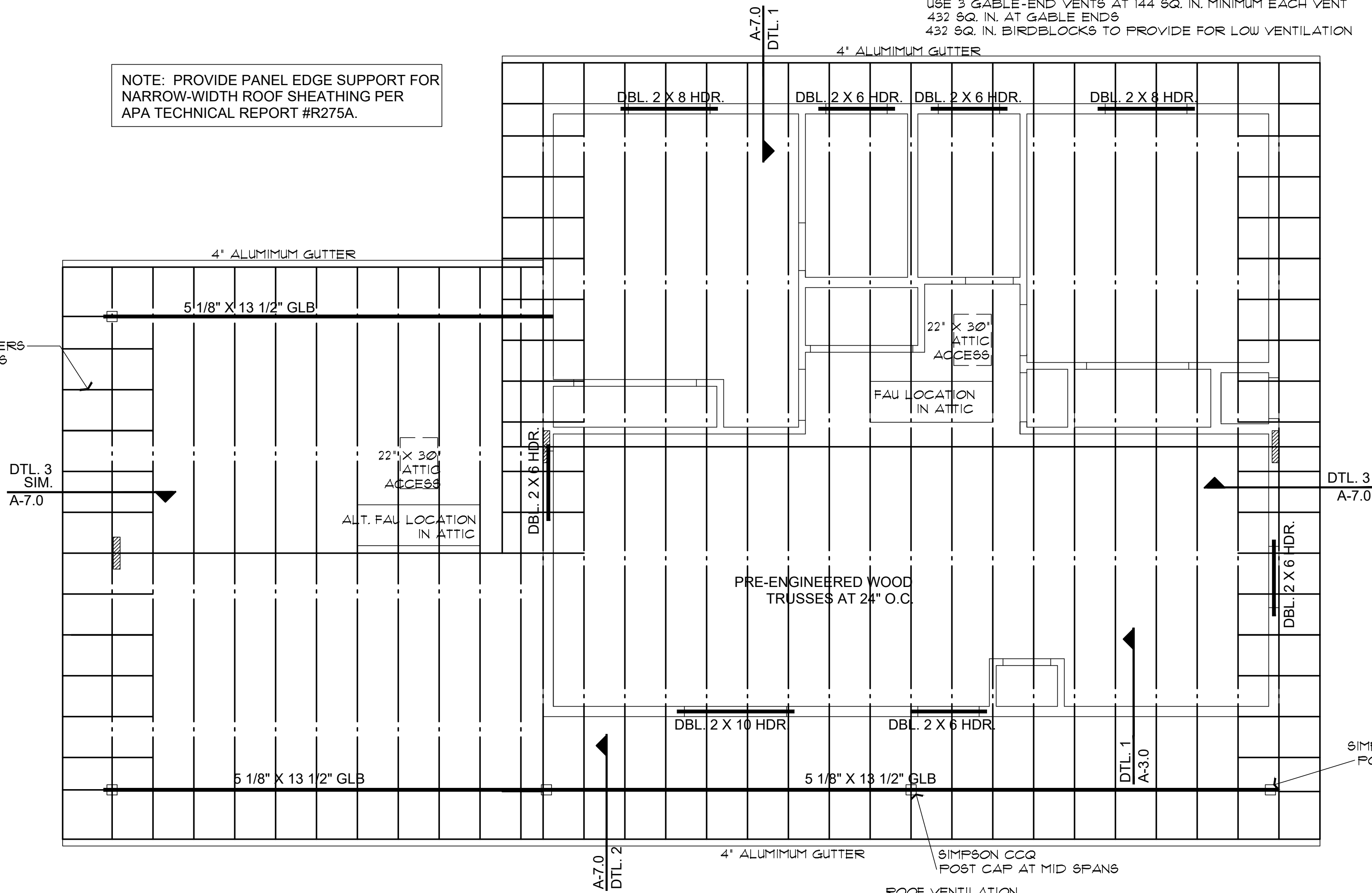


ROOF FRAMING PLAN (with optional Garage)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION
REQUIRED 1741 SQ. FT. / 300 = 6 SQ. FT. (864 SQ. IN.)
USE 3 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT
432 SQ. IN. AT GABLE ENDS
432 SQ. IN. BIRDBLOCKS TO PROVIDE FOR LOW VENTILATION

NOTE: PROVIDE PANEL EDGE SUPPORT FOR
NARROW-WIDTH ROOF SHEATHING PER
APA TECHNICAL REPORT #R275A.



ROOF FRAMING PLAN (with optional Carport)

SCALE: 1/4" = 1'-0"

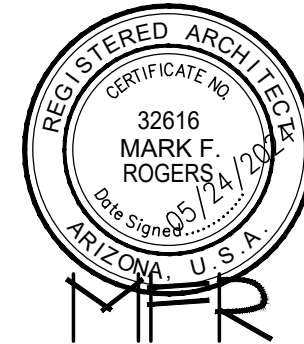
ROOF VENTILATION
REQUIRED 1741 SQ. FT. / 300 = 6 SQ. FT. (864 SQ. IN.)
USE 3 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT
432 SQ. IN. AT GABLE ENDS
8 0'HAGIN OR OTHER EQUAL LOW VENTS AT 12 SQ. IN. EACH
432 SQ. IN. BIRDBLOCKS TO PROVIDE FOR LOW VENTILATION

PROPERTY OF YAVAPAI COUNTY, AZ

Job no. : 2BD/2BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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761 Highland Circle

ROOF FRAMING PLANS
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

A-3.0

PROPERTY OF YAVAPAI COUNTY, AZ

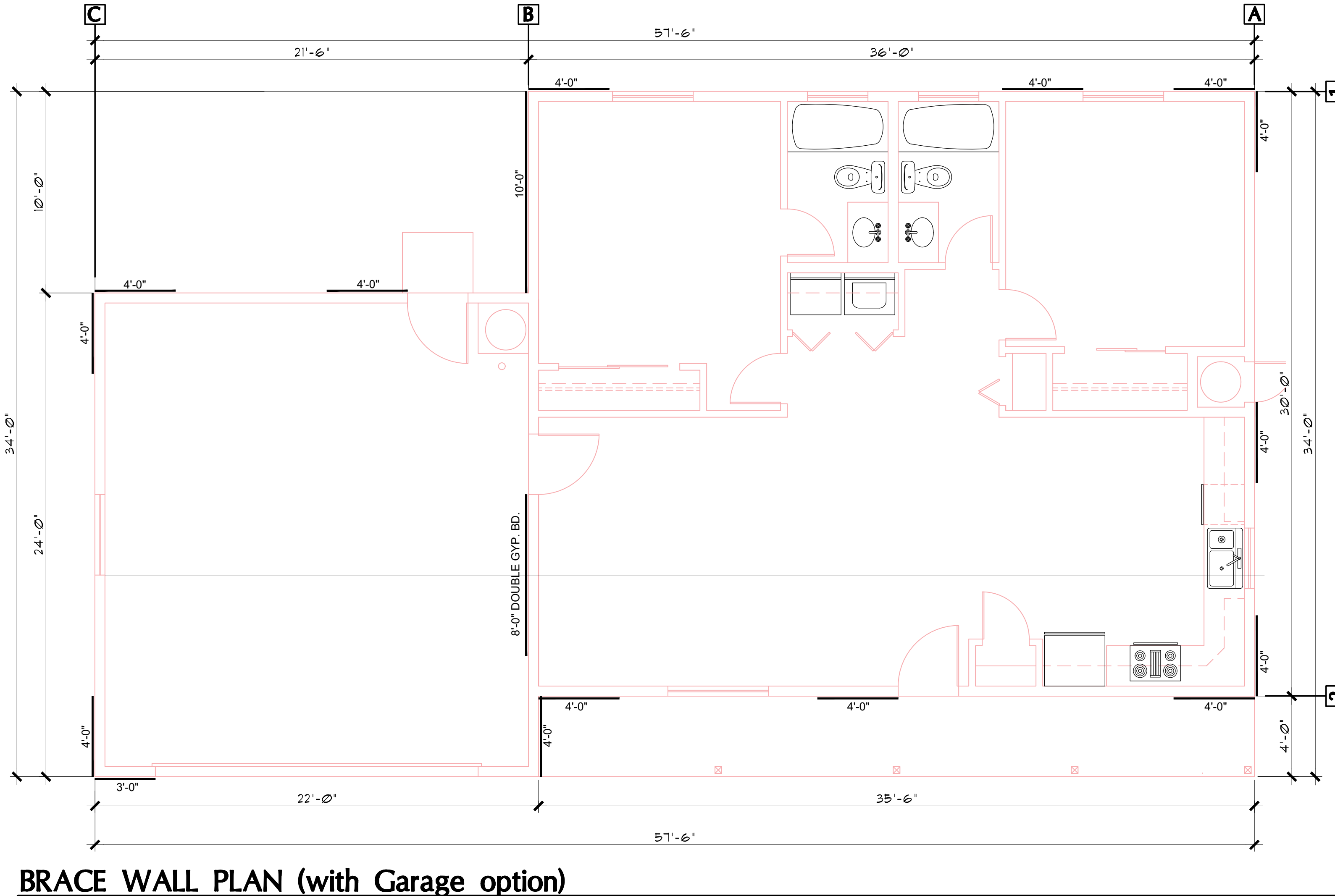
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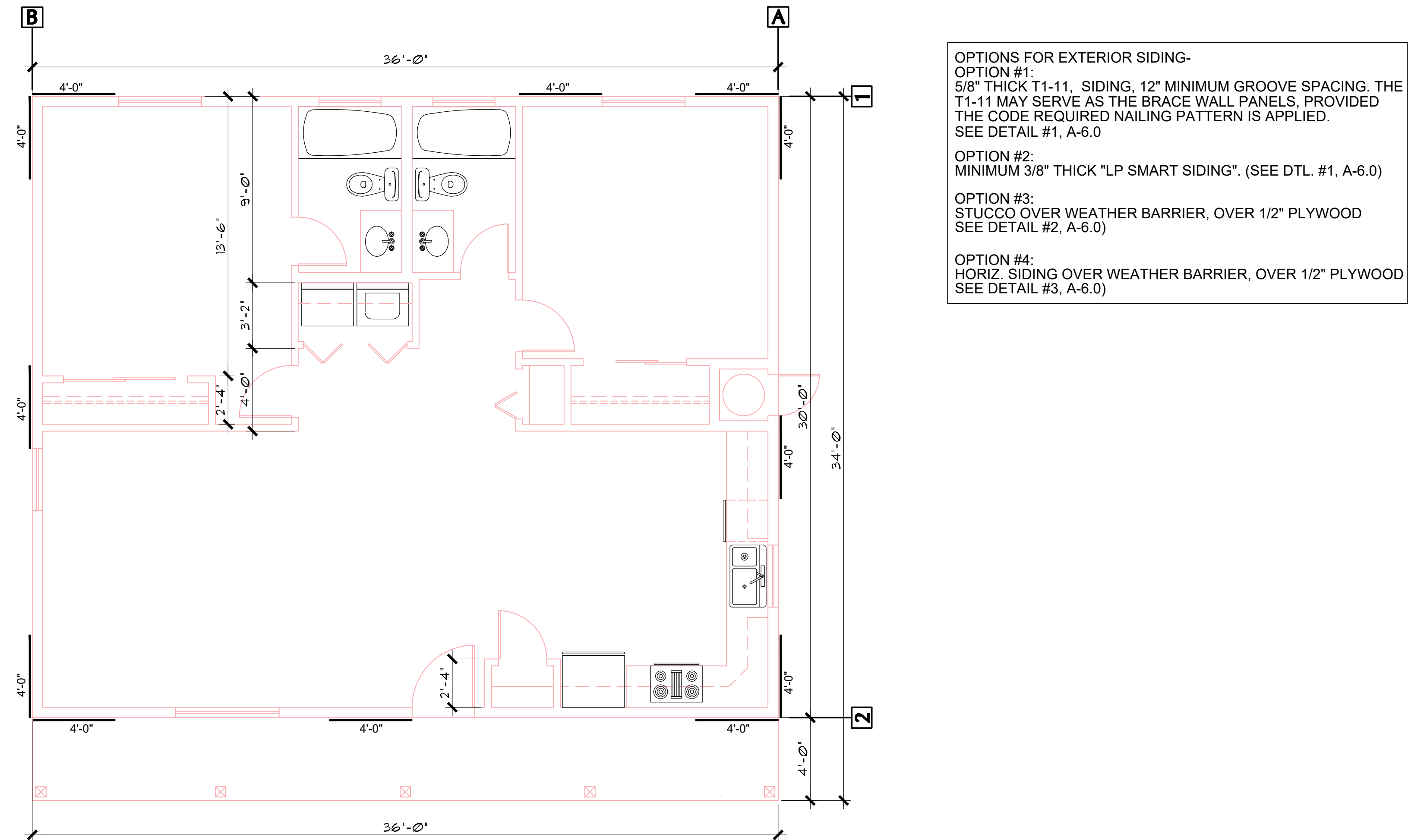
WIND SPEED (MPH)		115		115		115		115		115		
BRACED WALL LINE		A		B		C						
STORY												
BRACED WALL PANEL METHOD		CS-VSP CS-PF CS-G		GB		CS-VSP CS-PF CS-G						
AVG BWL SPACING (ft)		34		34		24						
TABULAR REQUIRED (ft)		5.10		10.70		3.90						
ADJUSTMENT	EXPOSURE	C	1.20	C	1.20	C	1.20	C		C		
	EAVE-RIDGE HT (ft)	6.00	0.76	6.00	0.76	6.00	0.76					
	STORY HEIGHT (ft)	9.00	0.95	9.00	0.95	9.00	0.95					
	# BWLS	3.00	1.30	3.00	1.30	3.00	1.30					
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00	NO	1.00					
	OMIT INTERIOR GB	NO	1.00	NO	1.00	NO	1.00					
	METHOD GB FASTEN @ 4" o.c	NO	1.00	NO	1.00	NO	1.00					
	HORIZONTAL BLOCKING OMITTED	NO	1.00	NO	1.00	NO	1.00					
REQUIRED BWP LENGTH (ft)		5.74		12.05		4.39						
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	10.00	CS-WSP	4.00				
		2	CS-WSP	4.00	DS-GB	8.00	CS-WSP	4.00				
		3	CS-WSP	4.00	CS-WSP	4.00						
		4										
		5										
		6										
		7										
ACTUAL BWP LENGTH (ft)		12.00		22.00		8.00						
ACTUAL ≥ REQUIRED		YES		YES		YES						
SPACE	BWPs ≤ 20' APART	YES		YES		YES						
# of BWPs	Length of BWL (ft)	30		34		24						
	BWP 1 ≤ 16', 2 > 16'	YES		YES		YES						
ENDS	BWP WITHIN 10' OF END	YES	YES	YES	YES	YES	YES					
	CONTINUOUS END CONDITION	3	3	3	3	3	3					
BWL COMPLIANCE PASS-FAIL		PASS		PASS		PASS						

WIND SPEED (MPH)		115		115		115		115		115		
BRACED WALL LINE		1		2				A		B		
STORY												
BRACED WALL PANEL METHOD		CS-VSP CS-PF CS-G		CS-VSP CS-PF CS-G				CS-VSP CS-PF CS-G		CS-VSP CS-PF CS-G		
AVG BWL SPACING (ft)		36		36				30		30		
TABULAR REQUIRED (ft)		5.40		5.40				4.50		4.50		
ADJUSTMENT	EXPOSURE	C	1.20	C	1.20	C		C	1.20	C	1.20	
	EAVE-RIDGE HT (ft)	6.00	0.76	6.00	0.76			6.00	0.76	6.00	0.76	
	STORY HEIGHT (ft)	9.00	0.95	9.00	0.95			9.00	0.95	9.00	0.95	
	# BWLs	2.00	1.00	2.00	1.00			2.00	1.00	2.00	1.00	
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00			NO	1.00	NO	1.00	
	OMIT INTERIOR GB	NO	1.00	NO	1.00			NO	1.00	NO	1.00	
	METHOD GB FASTEN @ 4" o.c	NO	1.00	NO	1.00			NO	1.00	NO	1.00	
	HORIZONTAL BLOCKING OMITTED	NO	1.00	NO	1.00			NO	1.00	NO	1.00	
REQUIRED BWP LENGTH (ft)		4.68		4.68				3.90		3.90		
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	4.00			CS-WSP	4.00	CS-WSP	4.00
		2	CS-WSP	4.00	CS-WSP	4.00			CS-WSP	4.00	CS-WSP	4.00
		3	CS-WSP	4.00	CS-WSP	4.00			CS-WSP	4.00	CS-WSP	4.00
		4										
		5										
		6										
		7										
ACTUAL BWP LENGTH (ft)		12.00		12.00				12.00		12.00		
ACTUAL ≥ REQUIRED		YES		YES				YES		YES		
SPACE	# of BWPs	BWLs ≤ 20' APART		YES				YES		YES		
		Length of BWL (ft)		30				36		36		
		BWP 1 ≤ 16', 2 ≥ 16'		YES				YES		YES		
ENDS	CONTINUOUS END CONDITION	BWP WITHIN 10' OF END		YES		YES		YES		YES		
				3		3		3		3		
		BWL COMPLIANCE PASS-FAIL		PASS		PASS				PASS		PASS



BRACE WALL PLAN (with Garage option)

SCALE: 1/4" = 1'-0"



BRACE WALL PLAN (same as with Carport option)

SCALE: 1/4" = 1'-0"

PROPERTY OF YAVAPAI COUNTY, AZ

Job no. : 2BD/2BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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BRACE WALL PLANS /
CALCULATIONS
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

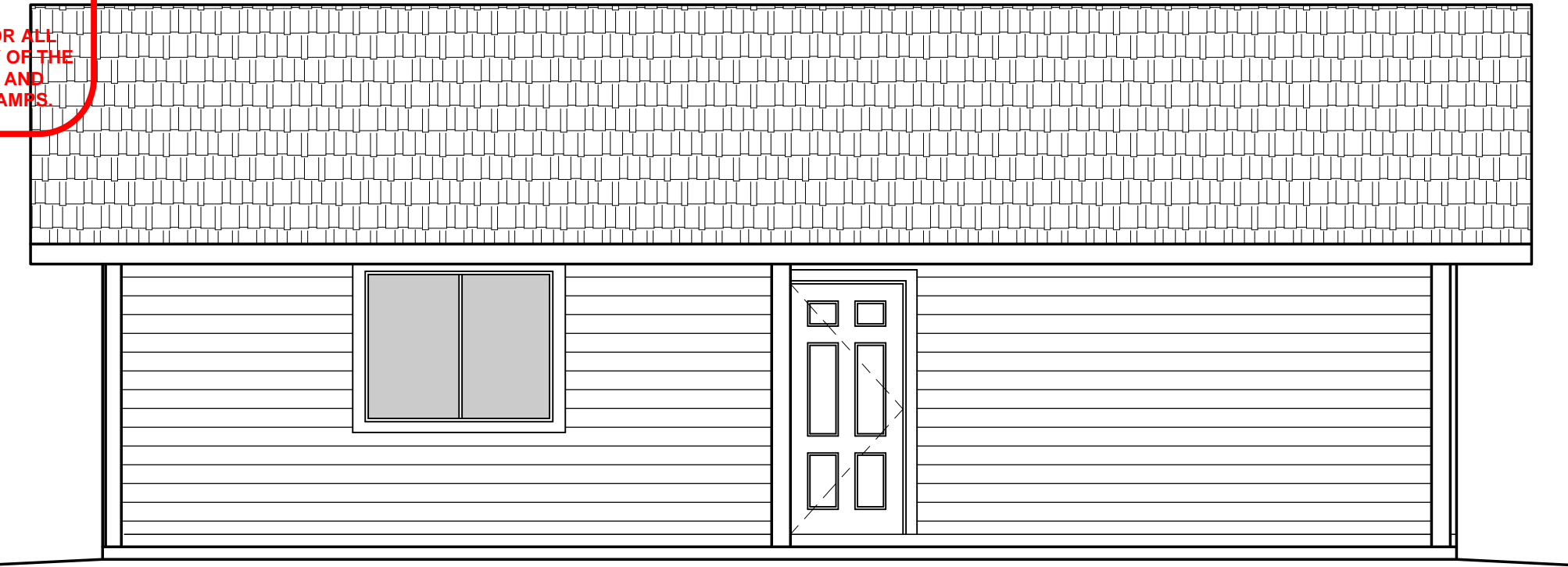
1015 FAIR STREET
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SHEET NO:

A-4.0

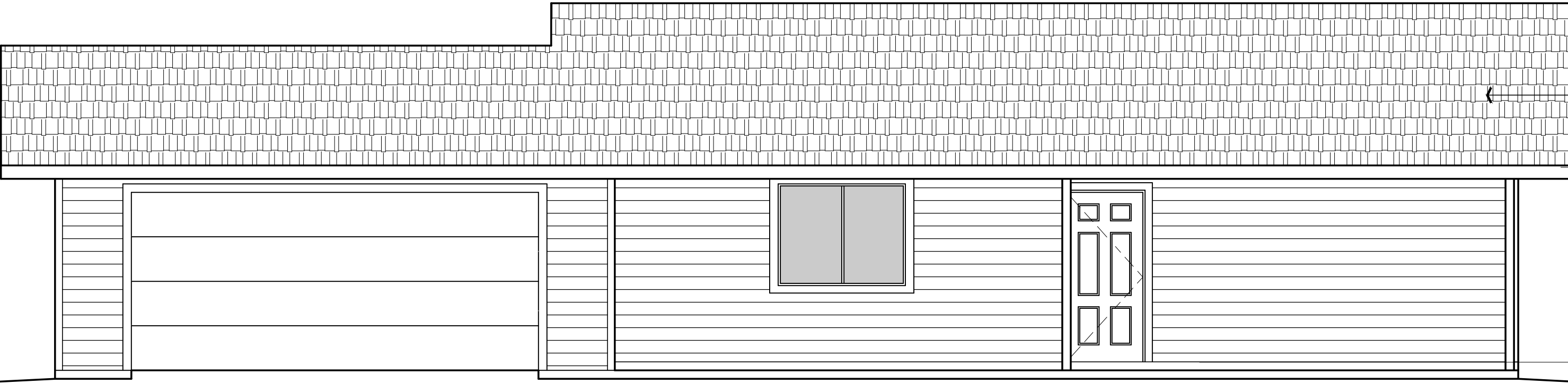
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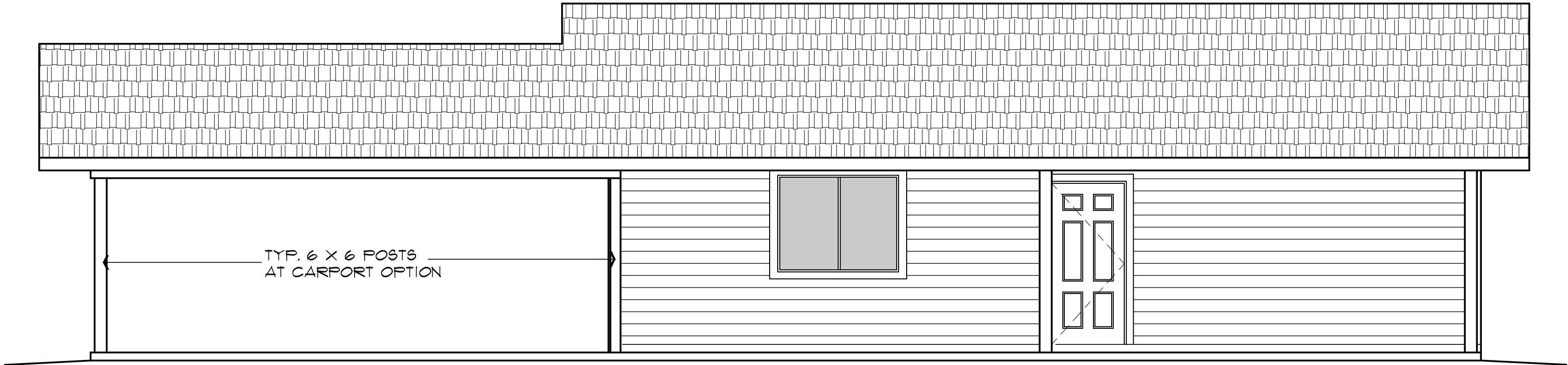
FRONT ELEVATION (without optional Garage or Carport)

SCALE: 1/4" = 1'-0"



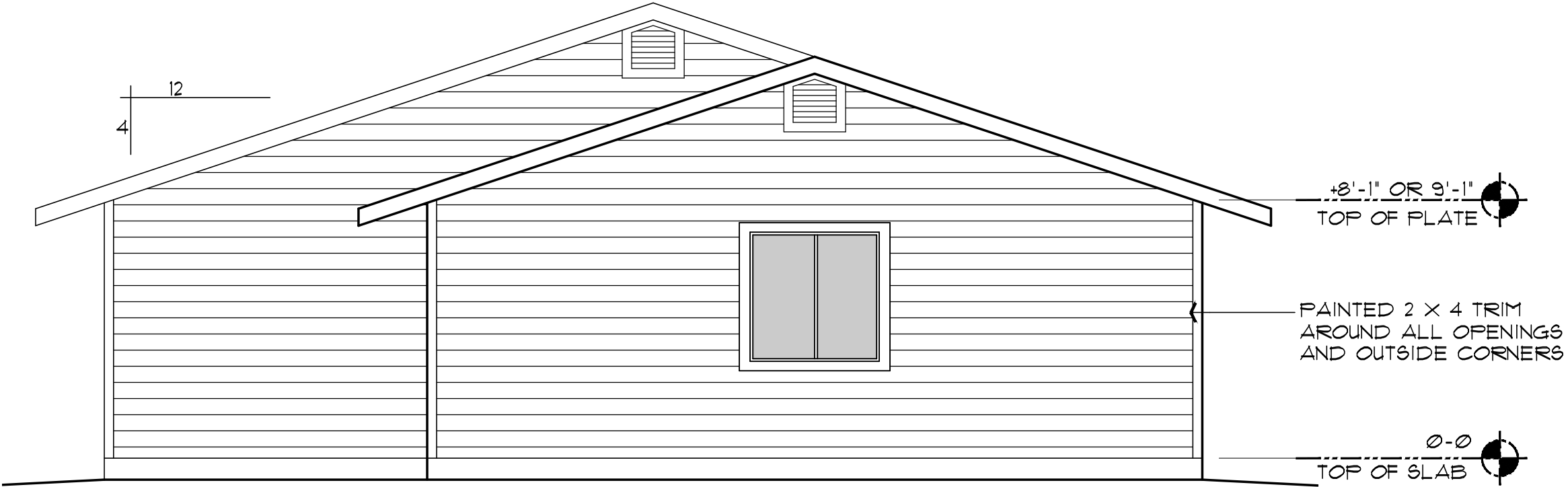
FRONT ELEVATION (with optional Garage)

SCALE: 1/4" = 1'-0"



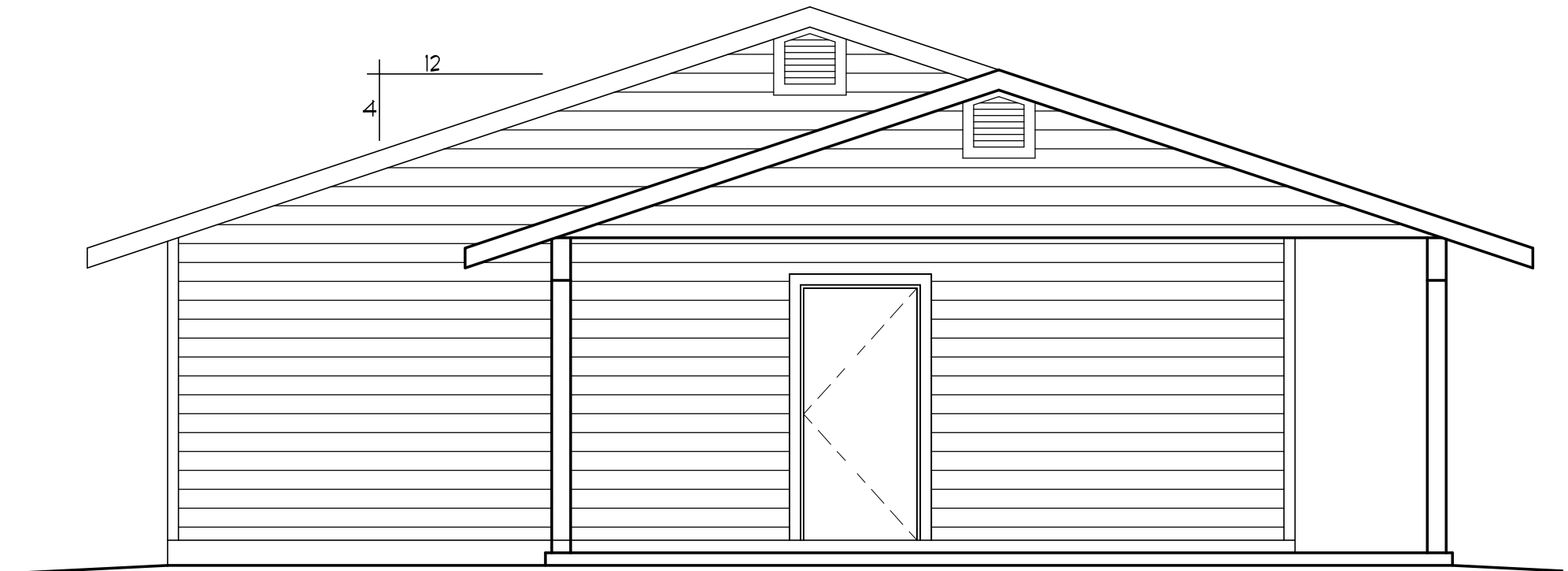
FRONT ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



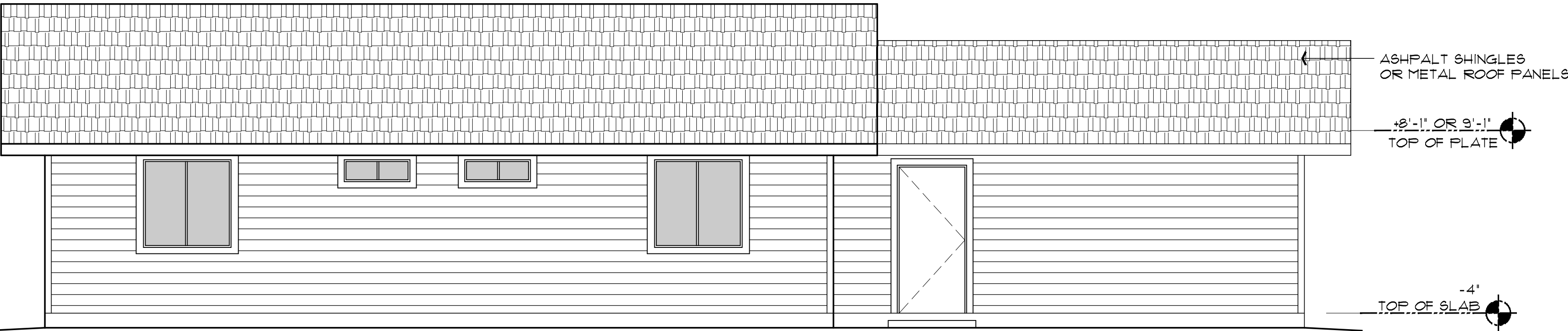
RIGHT SIDE ELEVATION (with optional Garage)

SCALE: 1/4" = 1'-0"



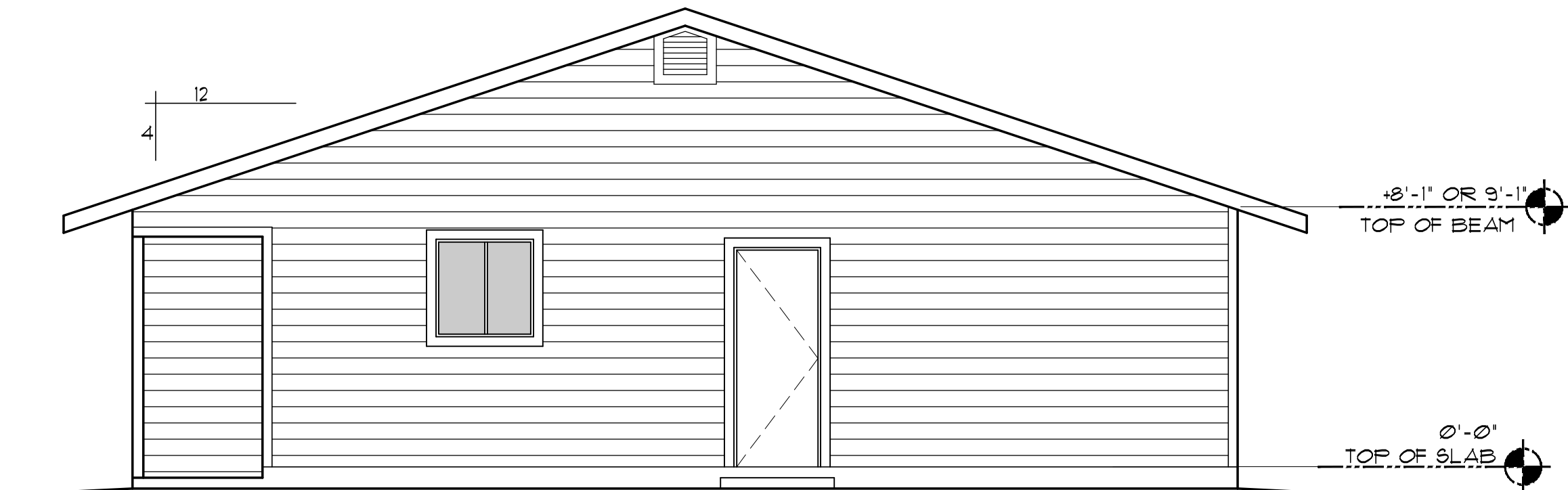
RIGHT SIDE ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



REAR ELEVATION (with Garage option)

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (same for all options)

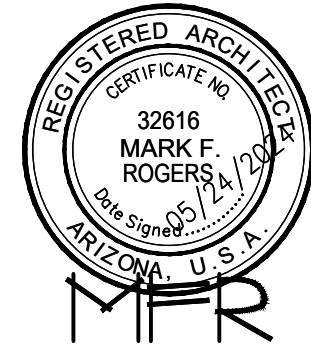
SCALE: 1/4" = 1'-0"

SEE SHEET A-6.0 FOR EXTERIOR WALL FINISH OPTIONS

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Date : MAY 24, 2024
Drawn by: MFR
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EXTERIOR ELEVATIONS
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

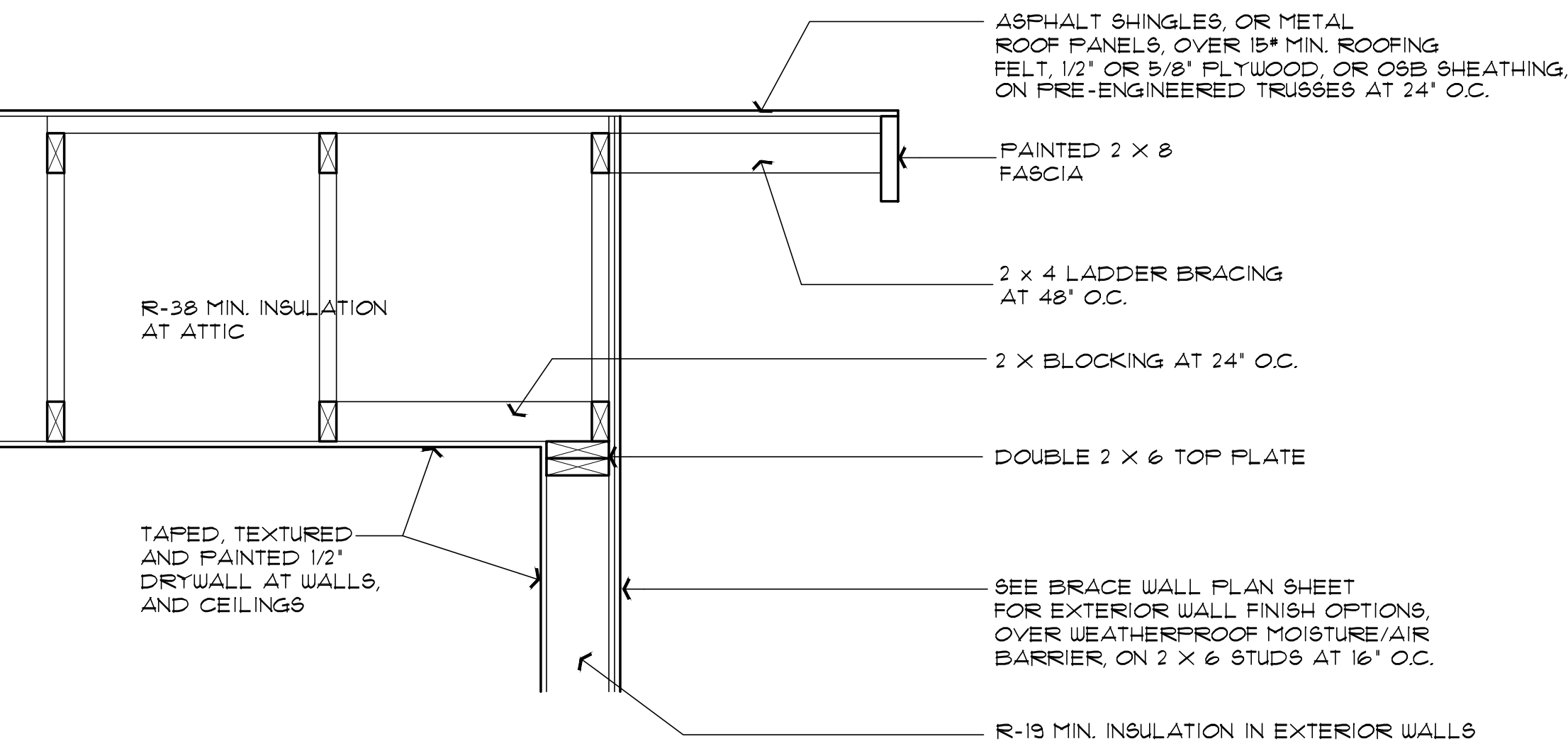
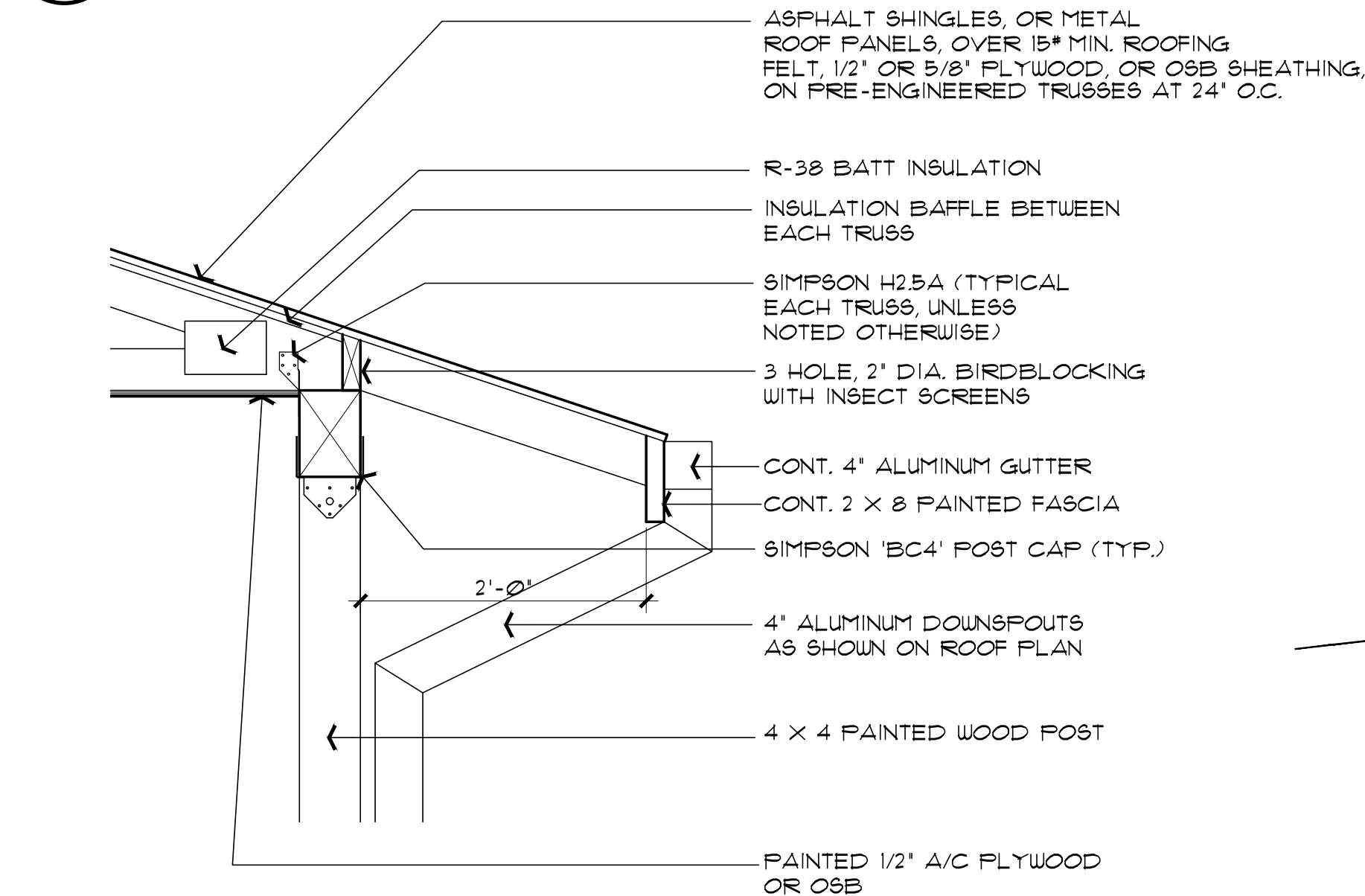
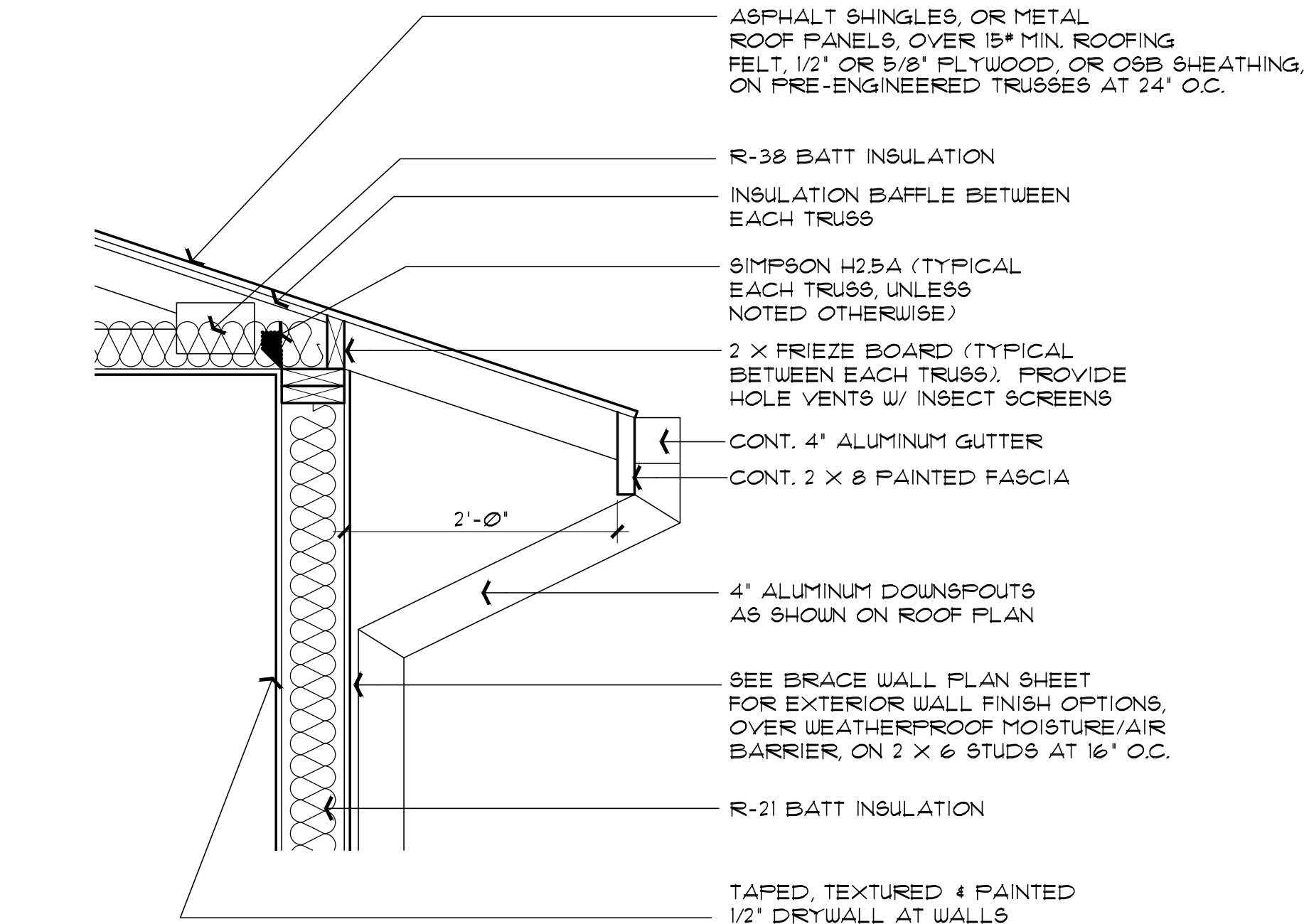
1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

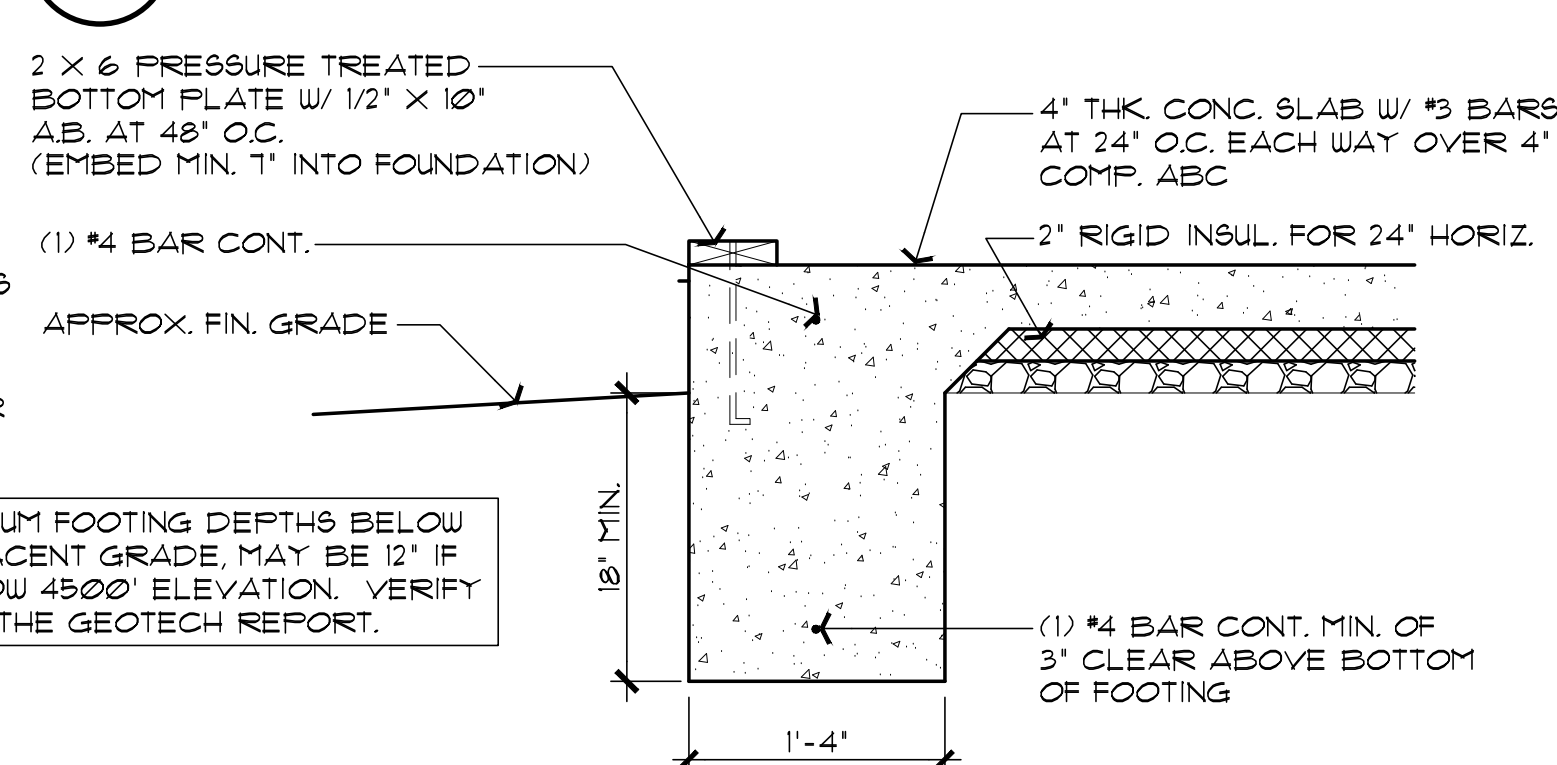
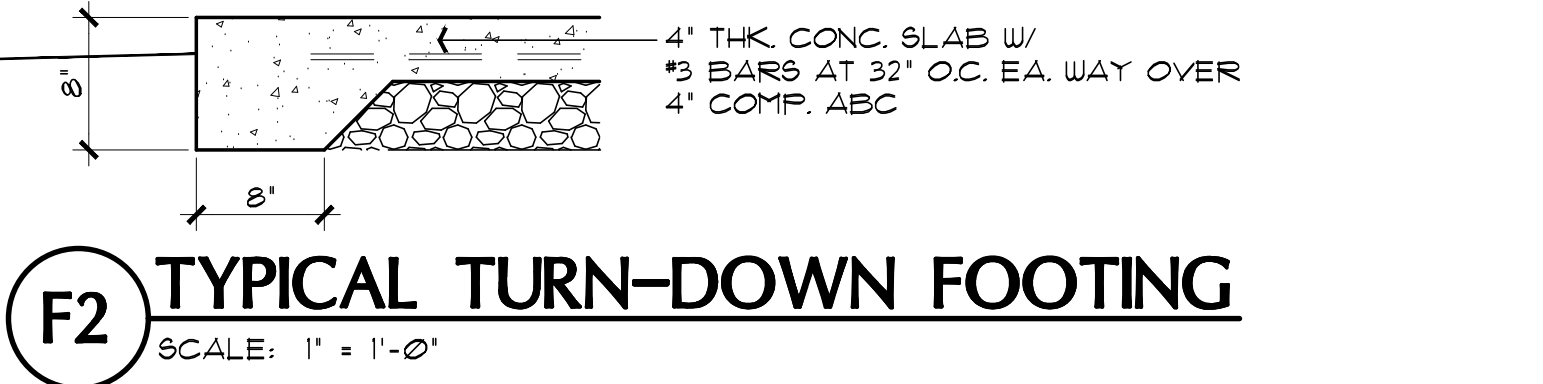
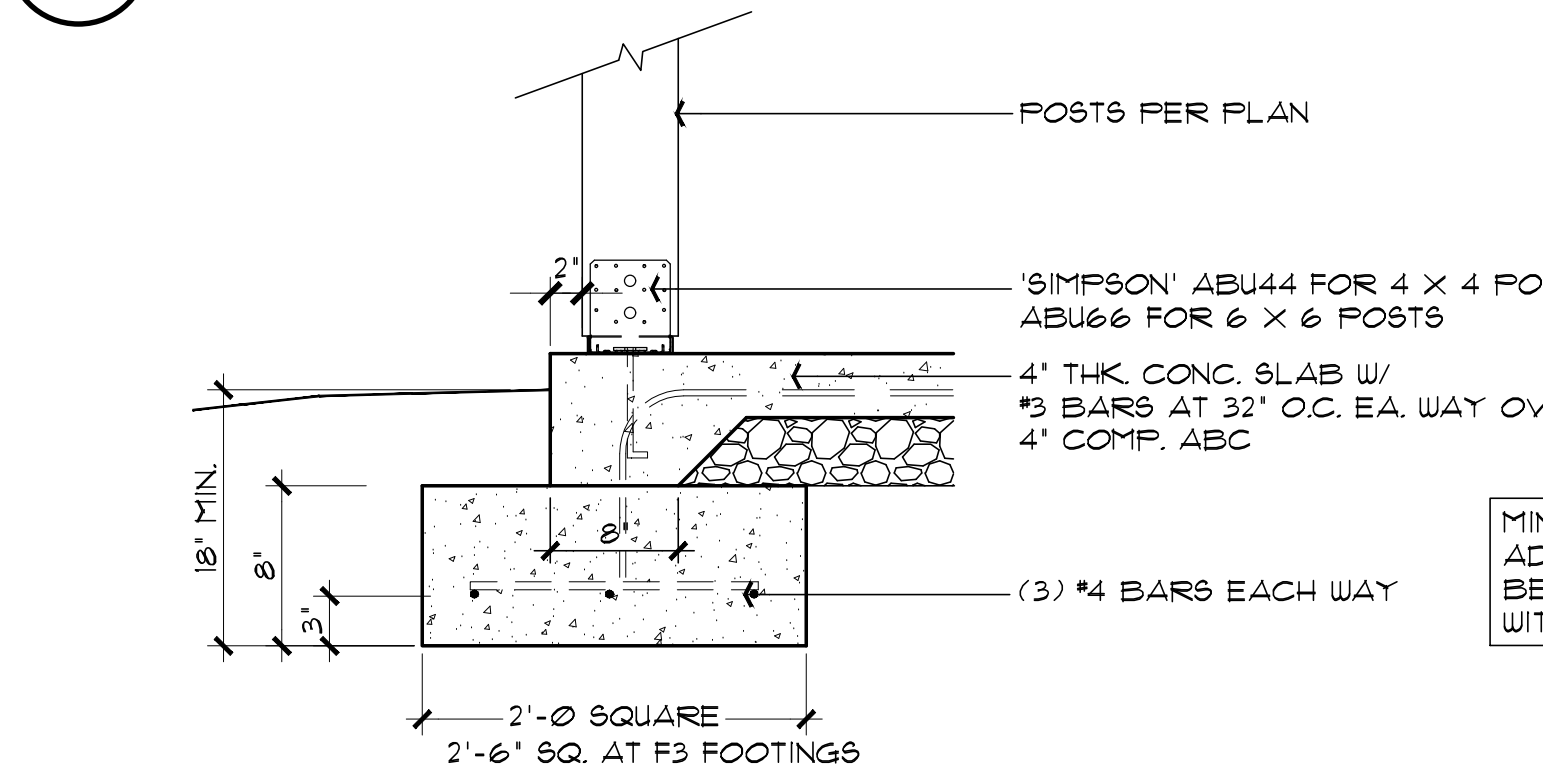
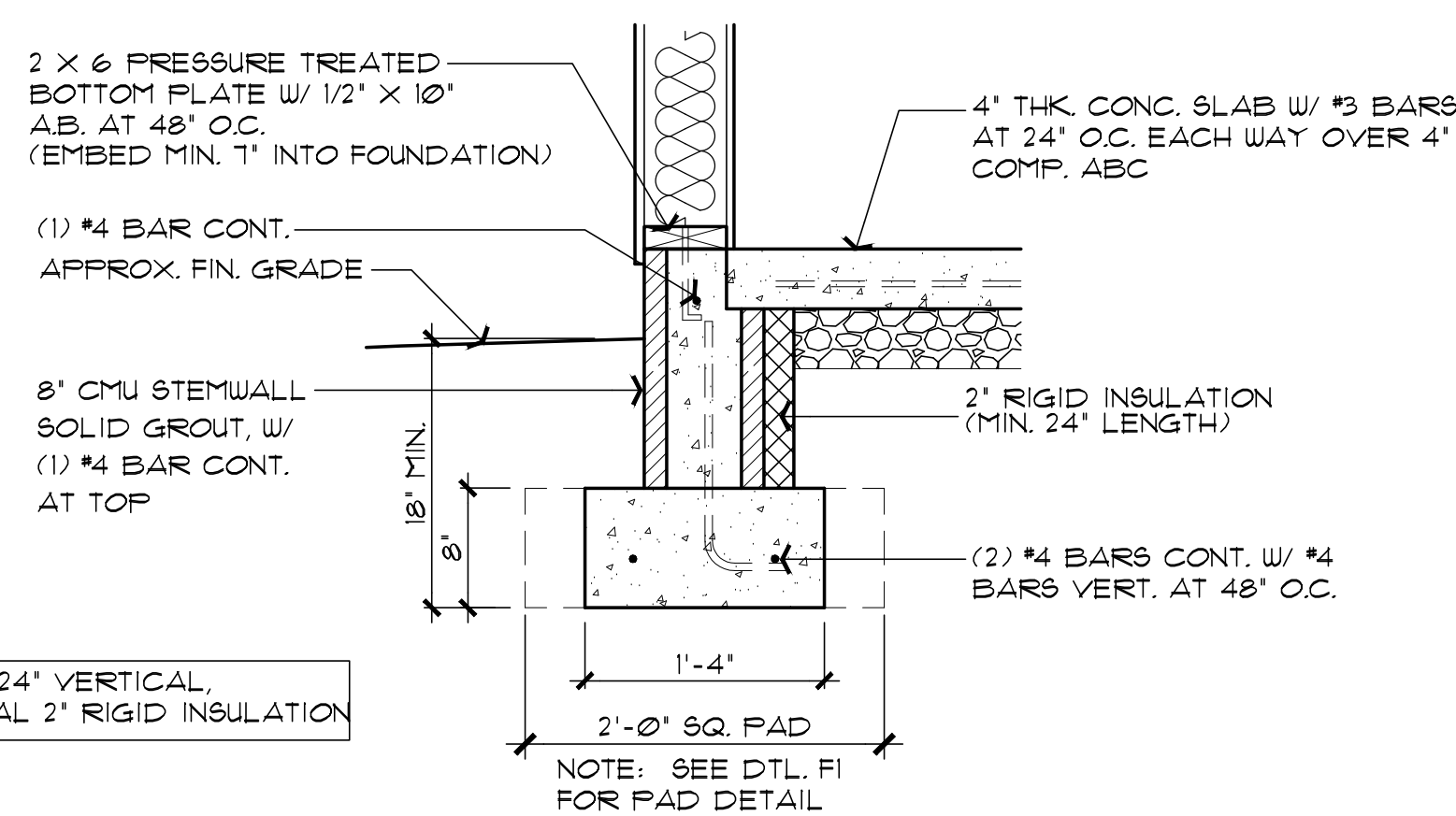
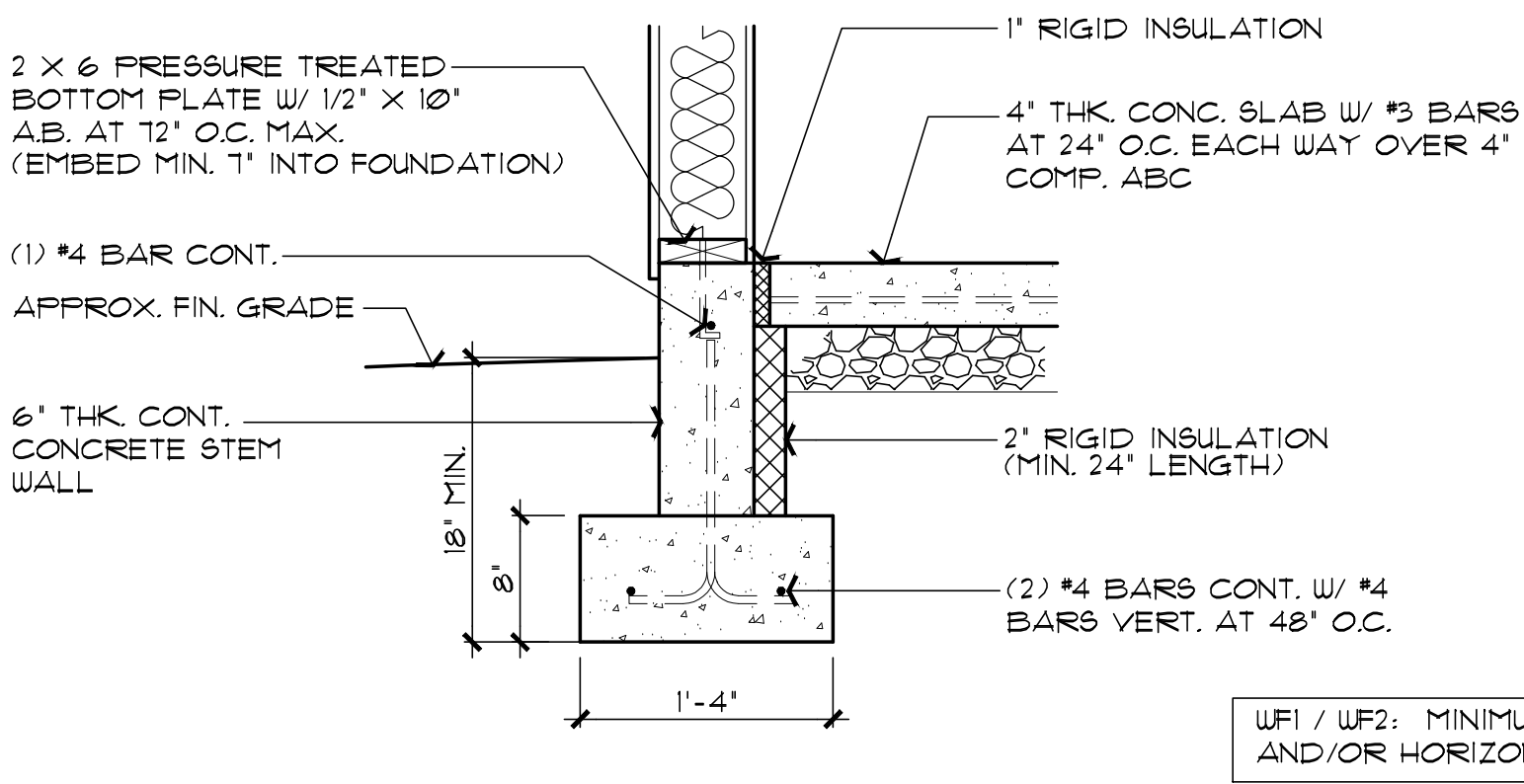
A-5.0

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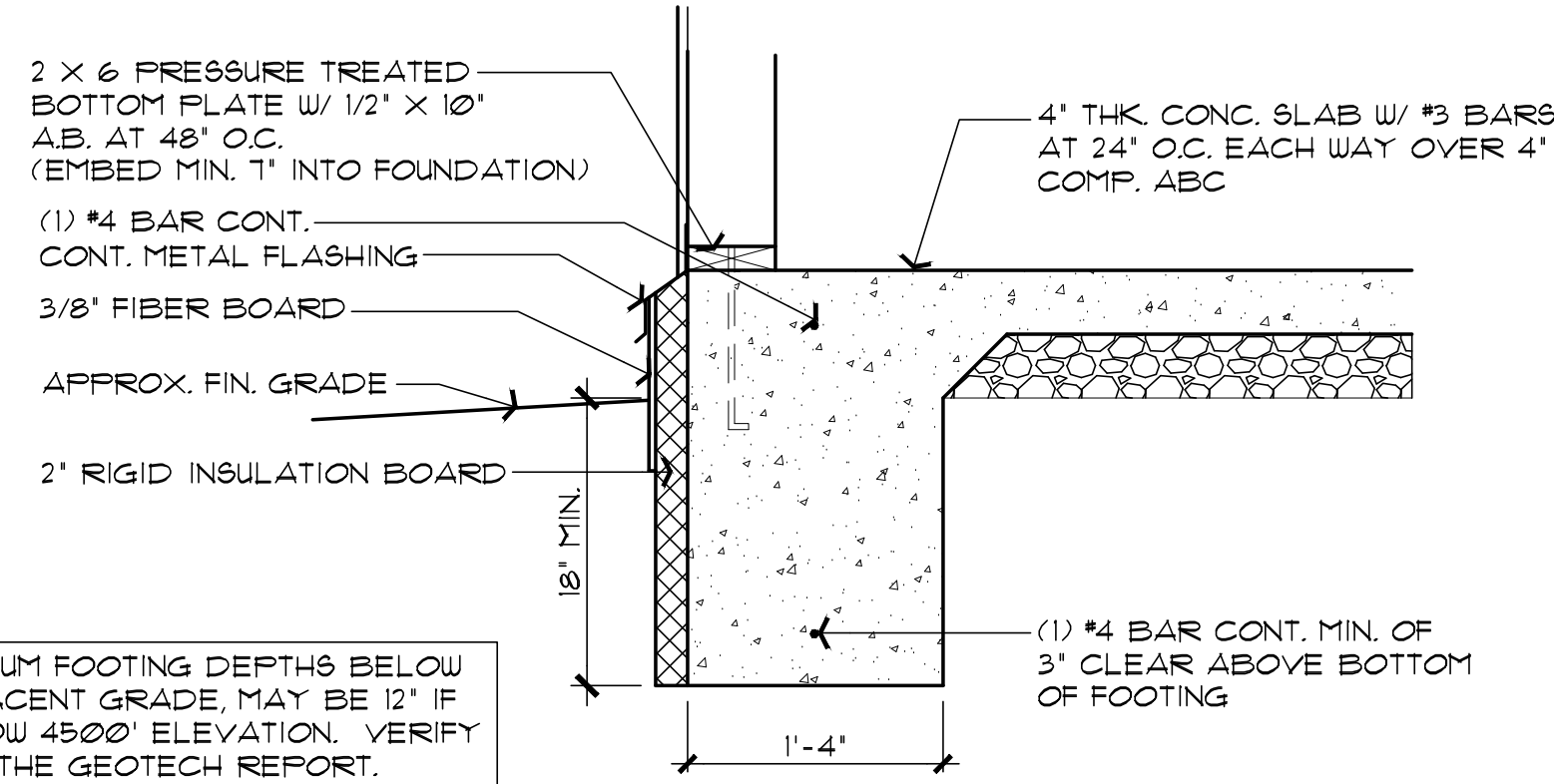
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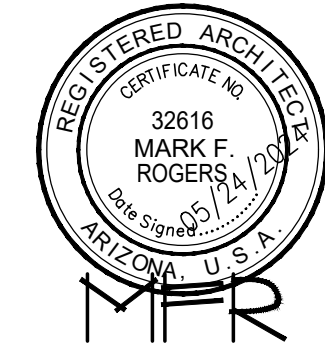


NOTE: SLAB INSULATION MAY BE
ELIMINATED IF USING WINDOWS WITH
0.32 U-FACTOR OR BETTER.



Job no. : 2BD/2BA LEFT
Date : MAY 24, 2024
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PROPERTY OF YAVAPAI COUNTY, AZ

FOUNDATION / ROOF DETAILS
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

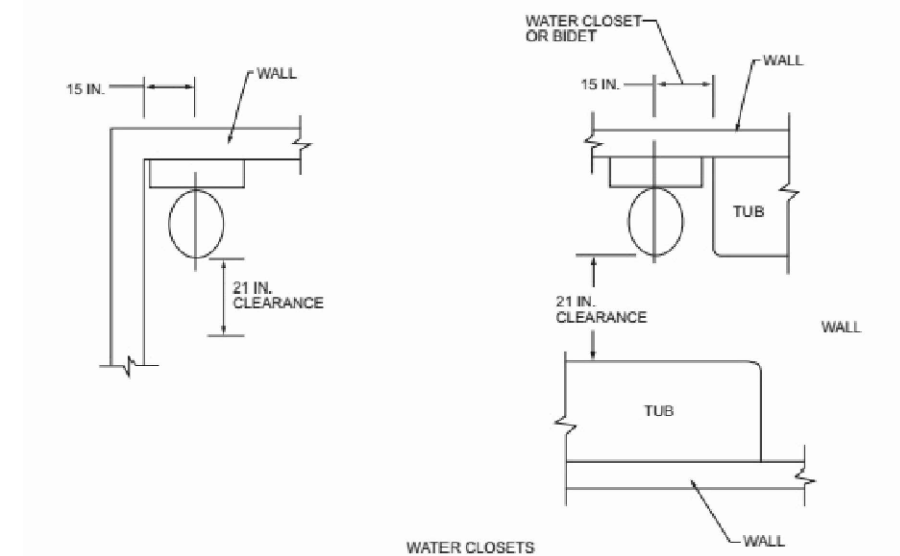
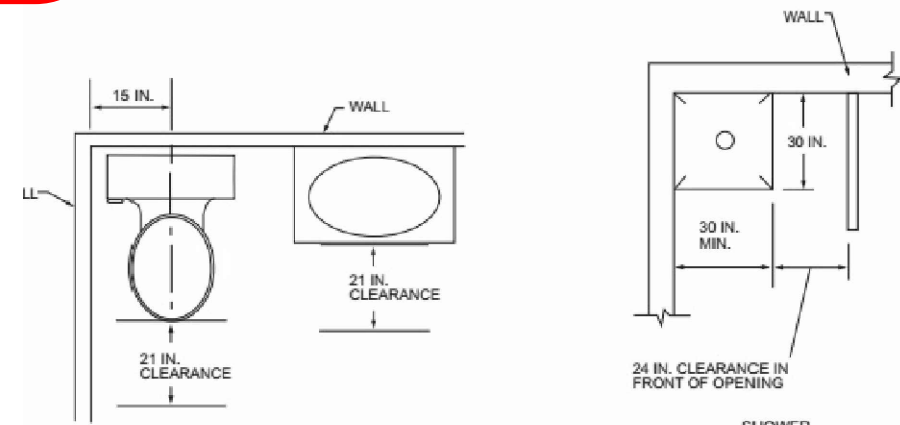
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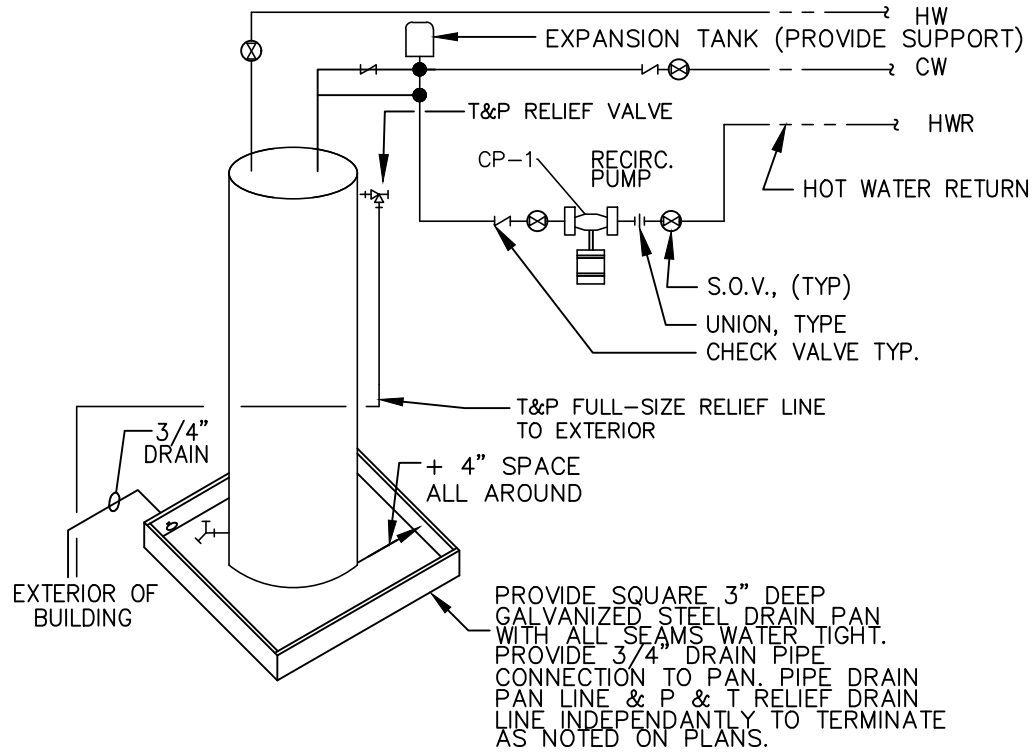


PLUMBING FIXTURE CLEARANCES

NO SCALE PER IRC FIGURE R307.1

HVAC/PLUMBING GENERAL NOTES:

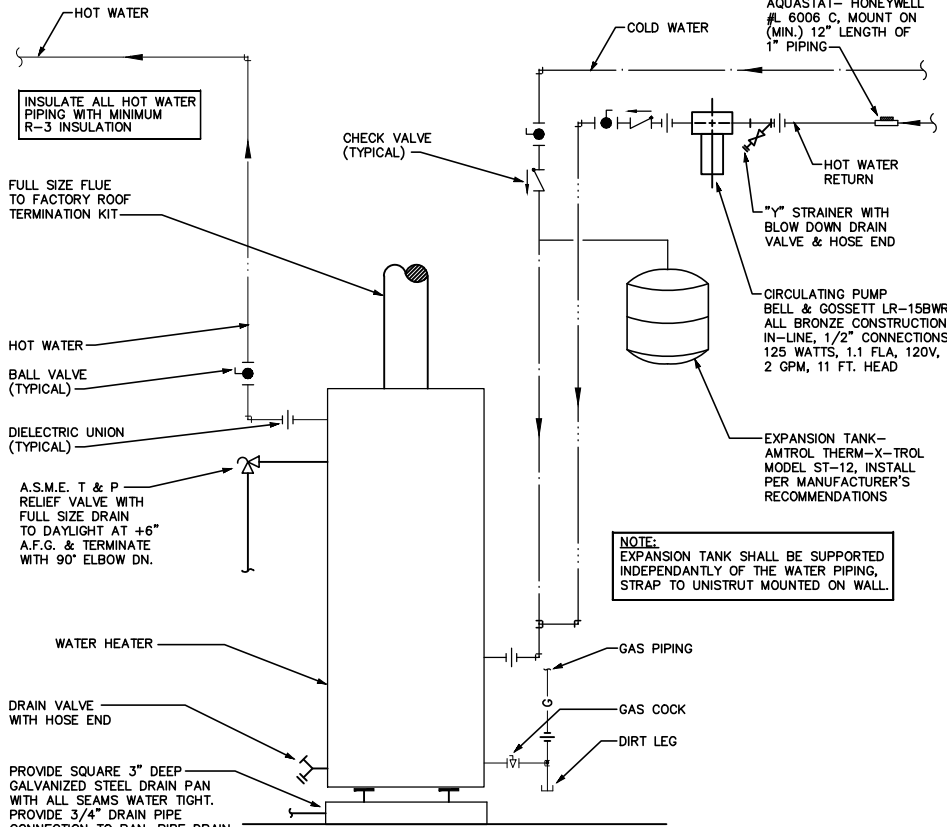
1. THE MECHANICAL CONTRACTOR SHALL DETERMINE THE FINAL EQUIPMENT SIZING, DUCT SIZING, AND DUCT LAYOUT PRIOR TO INSTALLATION.
2. DRAIN AND VENT SIZES TO BE DETERMINED BY PLUMBING CONTRACTOR.
3. WATER HEATER RELIEF VALVE SHALL EXTEND OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2' NOR LESS THAN 6" ABOVE THE GROUND AND POINTING DOWNWARD.
4. PROVIDE A PAN, AND DRAIN FOR THE WATER HEATER.
5. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING. IT SHALL NOT EXCEED 25' IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE.
6. THE SITE PLAN SHALL INDICATE THE LOCATION OF THE GAS SOURCE, THE DISTANCE AND PIPE SIZE FROM THE SOURCE, TO THE RESIDENCE, AND THE TYPE OF FUEL (NATURAL GAS OR PROPANE).
7. BI-FOLD DOOR AT WATER HEATER CLOSET SHALL BE LOUVERED FOR COMBUSTION AIR (MIN. REQUIREMENTS OF 100 SQ. INCHES OF FREE AIR).



PROVIDE ACCESSABLE ELECTRICAL DISCONNECT ELECTRIC WATER HEATER

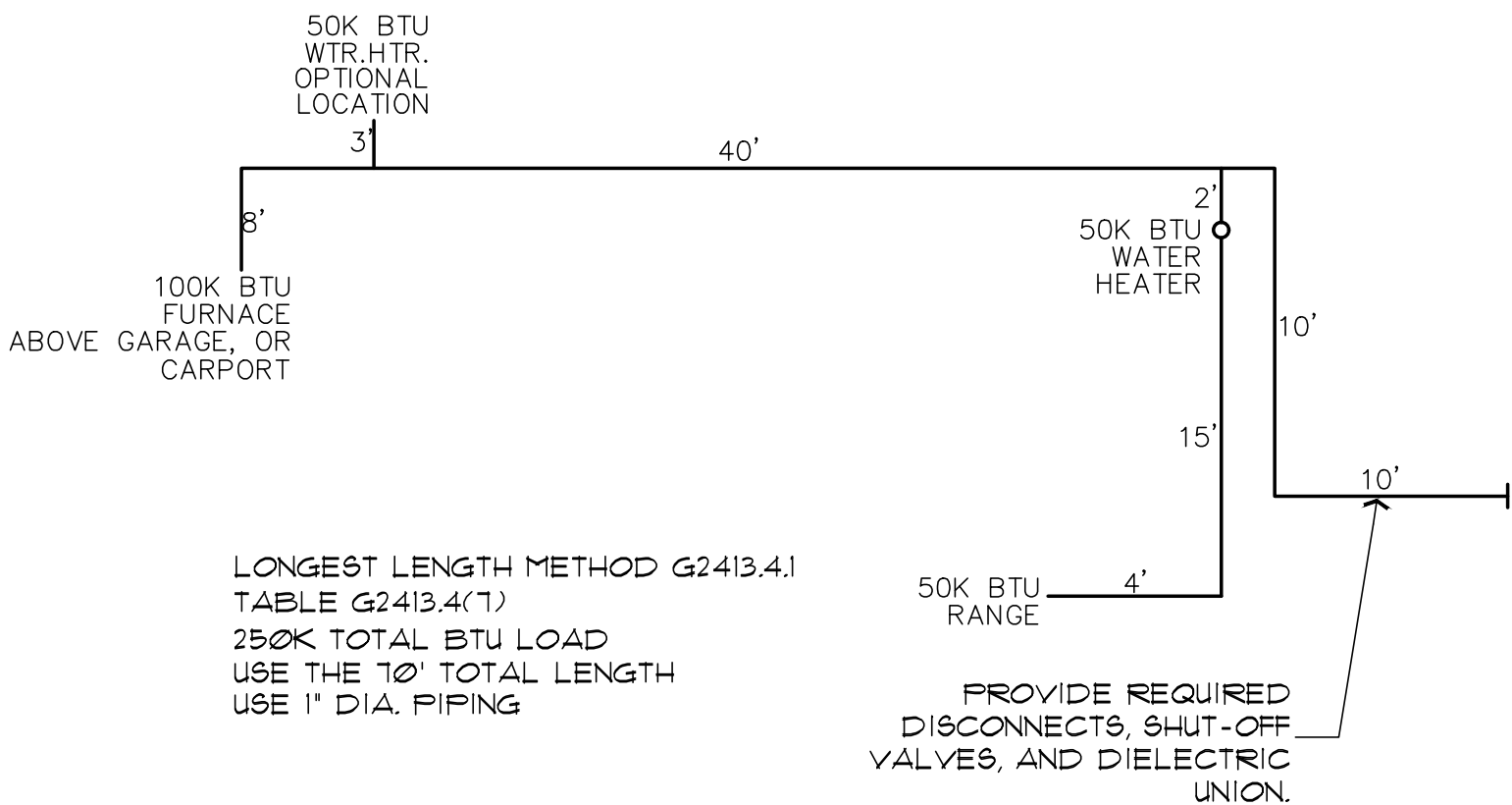
NO SCALE

NOTE: DRAIN PAN, AND T&P MUST DRAIN BY GRAVITY. WATER HEATER SHALL BE HIGH ENOUGH OFF THE FLOOR TO PROVIDE FOR DISCHARGE PIPING TO EXTERIOR.



GAS WATER HEATER OPTION

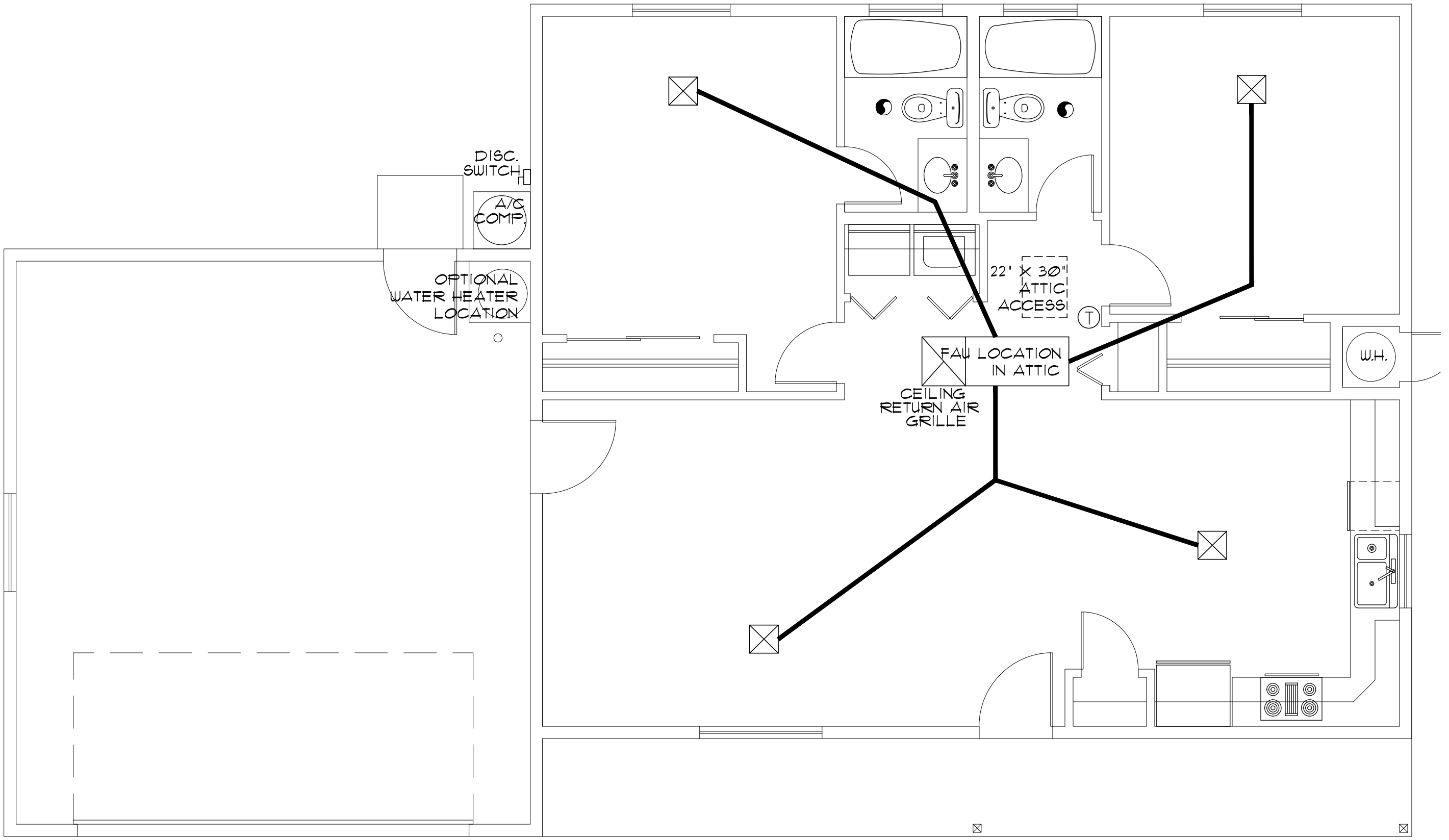
NO SCALE



GAS PIPING ISOMETRIC

NO SCALE

NOTE: USE 1" DIA. PIPING FOR ALL FLOOR PLAN LAYOUTS, INCLUDING, ALTERNATE FIXTURE LOCATIONS. THE PLUMBING CONTRACTOR SHALL SHALL VERIFY ALL SIZING, AND FITTINGS, PRIOR TO INSTALLATION.



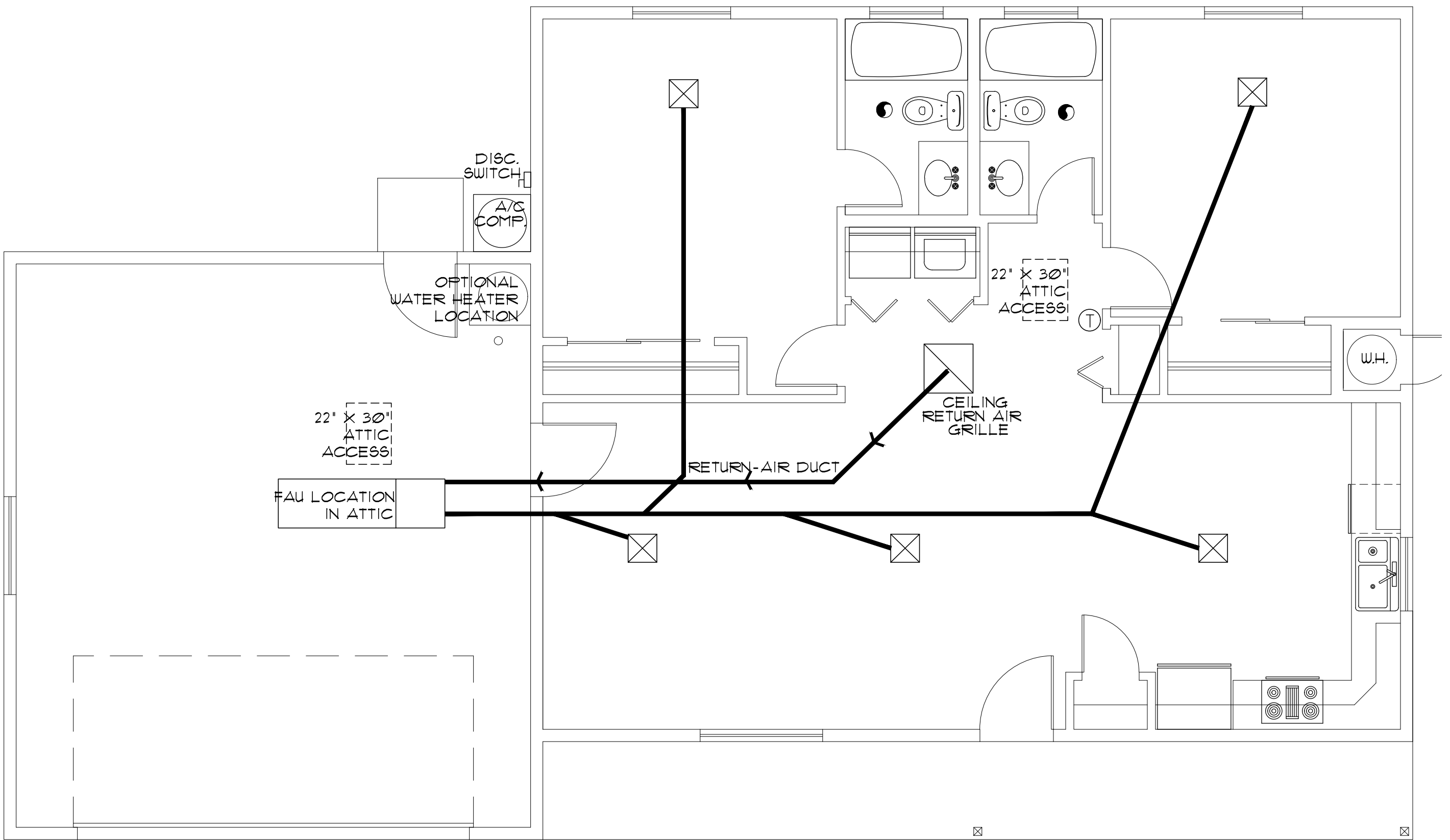
HVAC PLAN (furnace in attic above habitable area)

SCALE: 1/4" = 1'-0"

☒ SUPPLY-AIR GRILL

☒ RETURN AIR GRILL

① THERMOSTAT

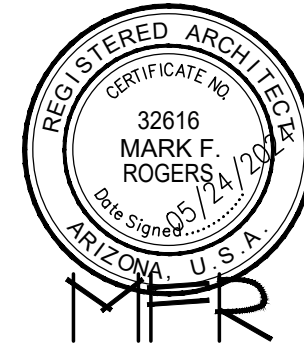


HVAC PLAN (furnace in attic above Garage, or Carport)

SCALE: 1/4" = 1'-0"

Job no. : 2BD/2BA LEFT
Date : MAY 24, 2024
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

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MECHANICAL PLANS

DETAILS / NOTES
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

M-1.0

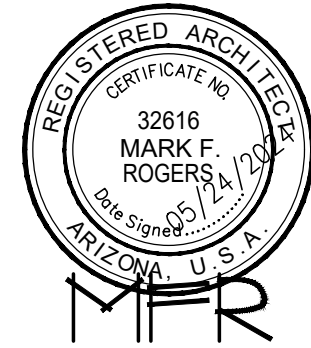
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Mark Rogers, Architect, PLLC

ELECTRICAL PLAN
SYMBOL SCHEDULE / NOTES
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

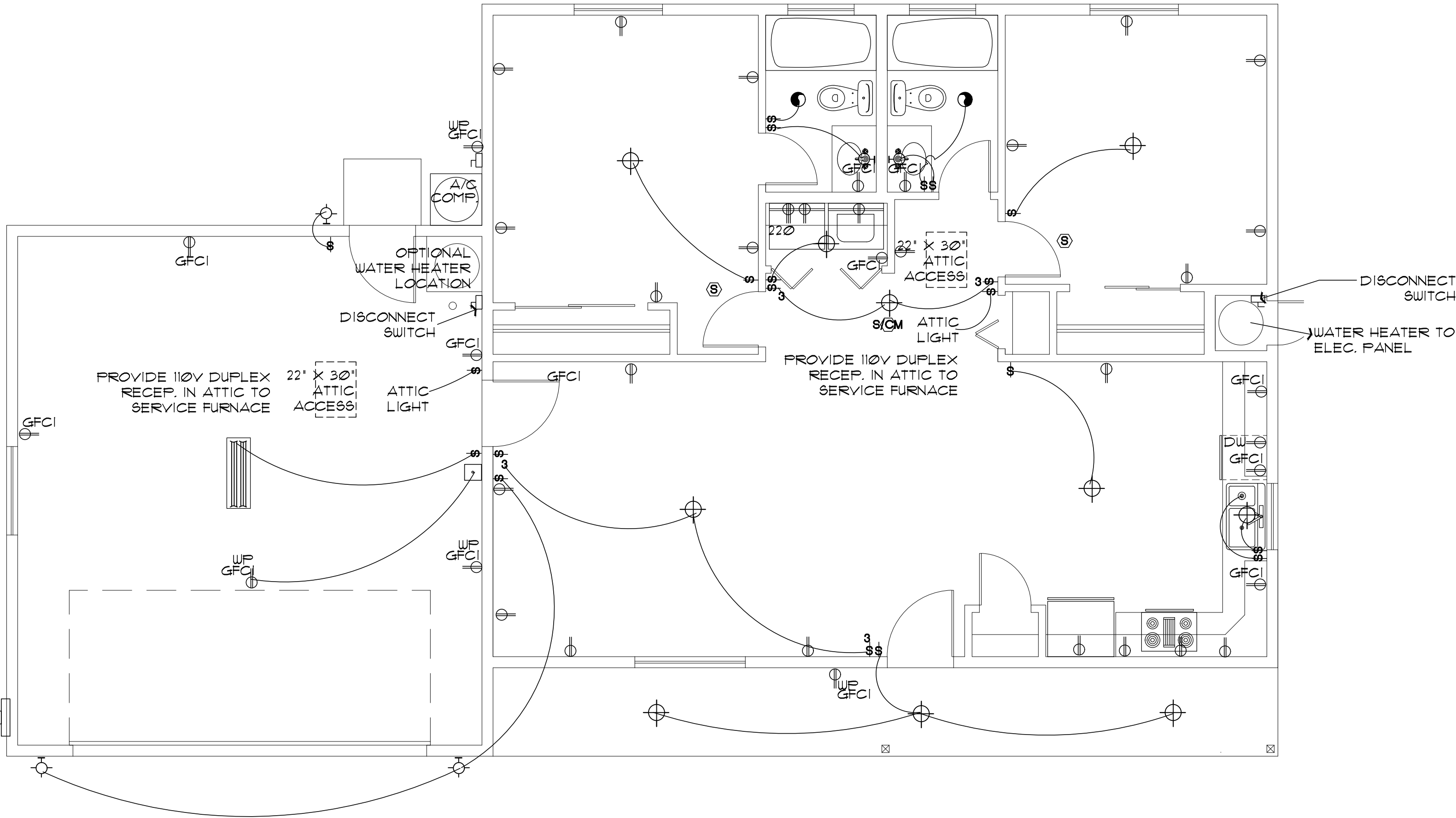
SHEET NO:
E-1.0

ELECTRICAL SYMBOLS

- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- DAMP-PROOF CEILING MOUNTED LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- RECESSED CAN FIXTURE
- 1' X 4' SURFACE MTD. FLUORESCENT FIXTURE
- 110V, DUPLEX CONVENIENCE OUTLET MOUNTED 12" AFF, OR AS NOTED
- 110V, 4-FLEX CONVENIENCE OUTLET MOUNTED 12" AFF, OR AS NOTED
- GFCI GROUND-FAULT INTERRUPT
- UP GFCI WEATHER-PROOF GROUND-FAULT INTERRUPT
- 220V RECEPTACLE
- SINGLE POLE SWITCH MOUNTED AT 48" OR AS NOTED
- 3-WAY SINGLE POLE SWITCH MOUNTED AT 48" OR AS NOTED
- CEILING EXHAUST FAN
- SMOKE DETECTOR
- SMOKE DETECTOR / CARBON MONOXIDE COMBO
- CABLE TV OUTLET
- CEILING FAN W/ LIGHT KIT
- DOORBELL BUTTON
- TELEPHONE OUTLET
- INTERNET OUTLET

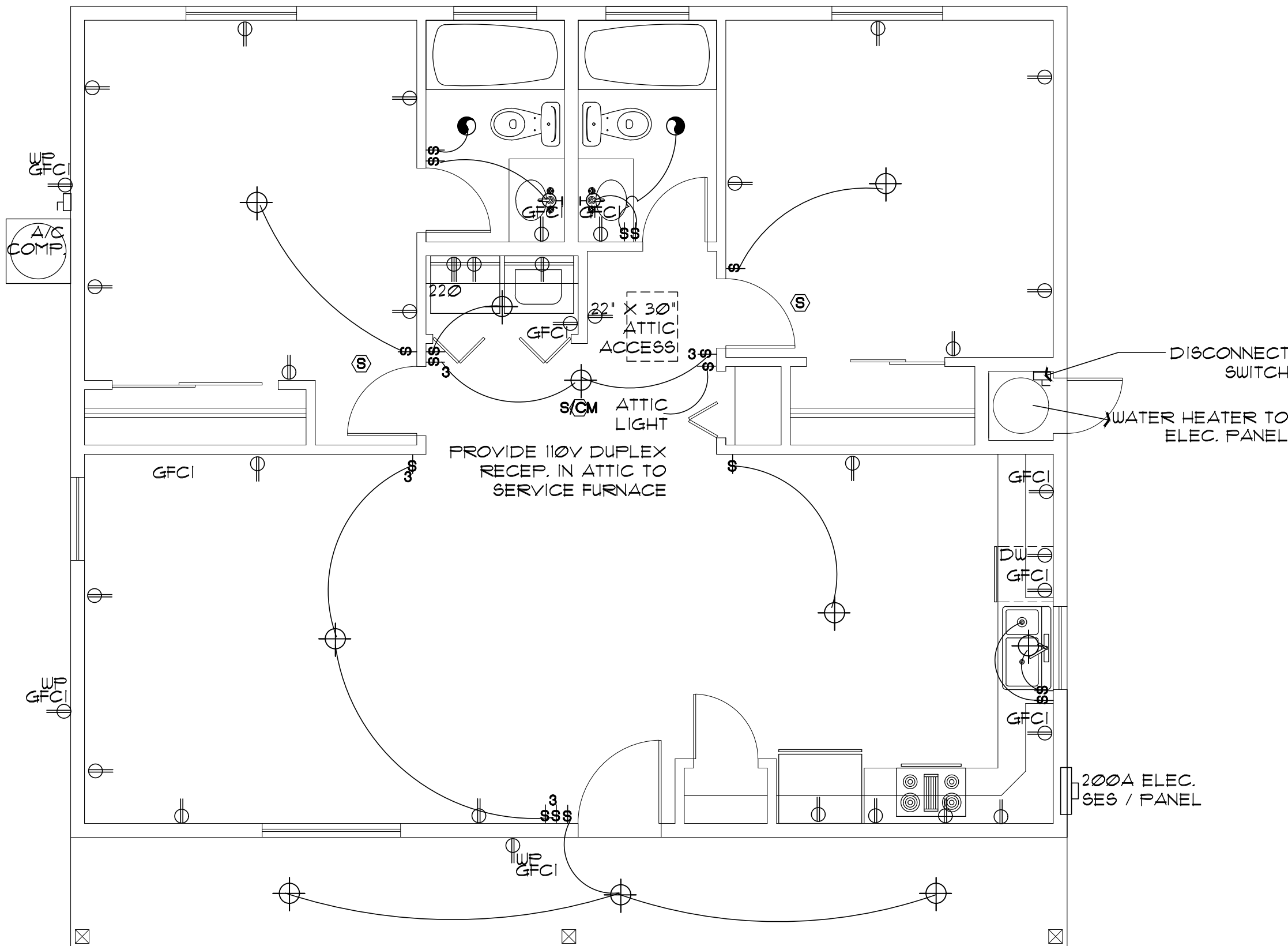
ELECTRICAL GENERAL NOTES

- ALL WORKMANSHIP, MATERIALS, AND METHODS SHALL CONFORM TO N.E.C.: 2017 EDITION.
- ALL HABITABLE ROOMS SHALL BE PROVIDED W/ ELECTRICAL OUTLETS SO THAT NO PART OF THE WALL IS MORE THAN 6' FROM AN OUTLET. WALL SECTIONS 2' OR LARGER 4 KITCHEN COUNTERS WIDER THAN 12" SHALL BE SERVICED BY A RECEPTACLE.
- ALL RECEPTALS IN BATHROOMS, OUTSIDE 4 WITHIN 6' OF WATER SOURCE SHALL BE GFCI.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED ON SEPARATE CIRCUIT 4 SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING 4 SHALL HAVE BATTERY BACKUP. CONNECT NEW SMOKE DETECTORS TO NEW AUDIBLE SYSTEM INSIDE EXISTING RESIDENCE.
- LIGHTS IN CLOSETS SHALL BE 18" FROM SHELVING (MEASURED HORIZTL. OR BE RECESSED).
- PROVIDE MINIMUM TWO 20A BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, EATING AREA, A SEPARATE 20A BRANCH CIRCUIT TO THE LAUNDRY EQUIP, AND A SEPARATE 20A BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15 4 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DINES, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY COMBINATION TYPE ARC FAULT CURCUIT INTERRUPTERS INSTALLED TO PROVIDE PROTECTION OF THE
- FIXTURES, FITTINGS, BOXES AND RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL BE 'LISTED' TO BE SUITABLE FOR SUCH CONDITIONS.
- CONTRACTOR TO EMBED 20' OF #4 AWG COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND, PROVIDE BONDING TO THE INTERIOR WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEM.
- IN KITCHEN AND DINING ROOMS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12' OR WIDER SO THAT AT NO POINT ALONG THE WALL IS MORE THAN 24" FROM A RECEPTACLE OUTLET AND SHALL BE GFCI PROTECTED.
- PROVIDE AT LEAST ONE WEATHER-PROOF RECEPTACLE OUTLET NOT MORE THAN 6'-6" ABOVE GRADE AND GFCI PROTECTED AT THE FRONT AND BACK OF EACH DWELLING. ALL RECEPTACLES INSTALLED OUTDOORS MUST BE GFCI PROTECTED.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO YAVAPAI COUNTY DARK SKY ORDINANCE.
- IN ATTICS, A SERVICE OUTLET 4 LIGHTING FIXTURE LOCATED NEAR THE APPLIANCE REQUIRING SERVICE SHALL BE CONTROLLED BY A SWITCH AT THE ENTRY OF THE ATTIC. (REQUIRED FOR ATTIC MOUNT FURNACES)



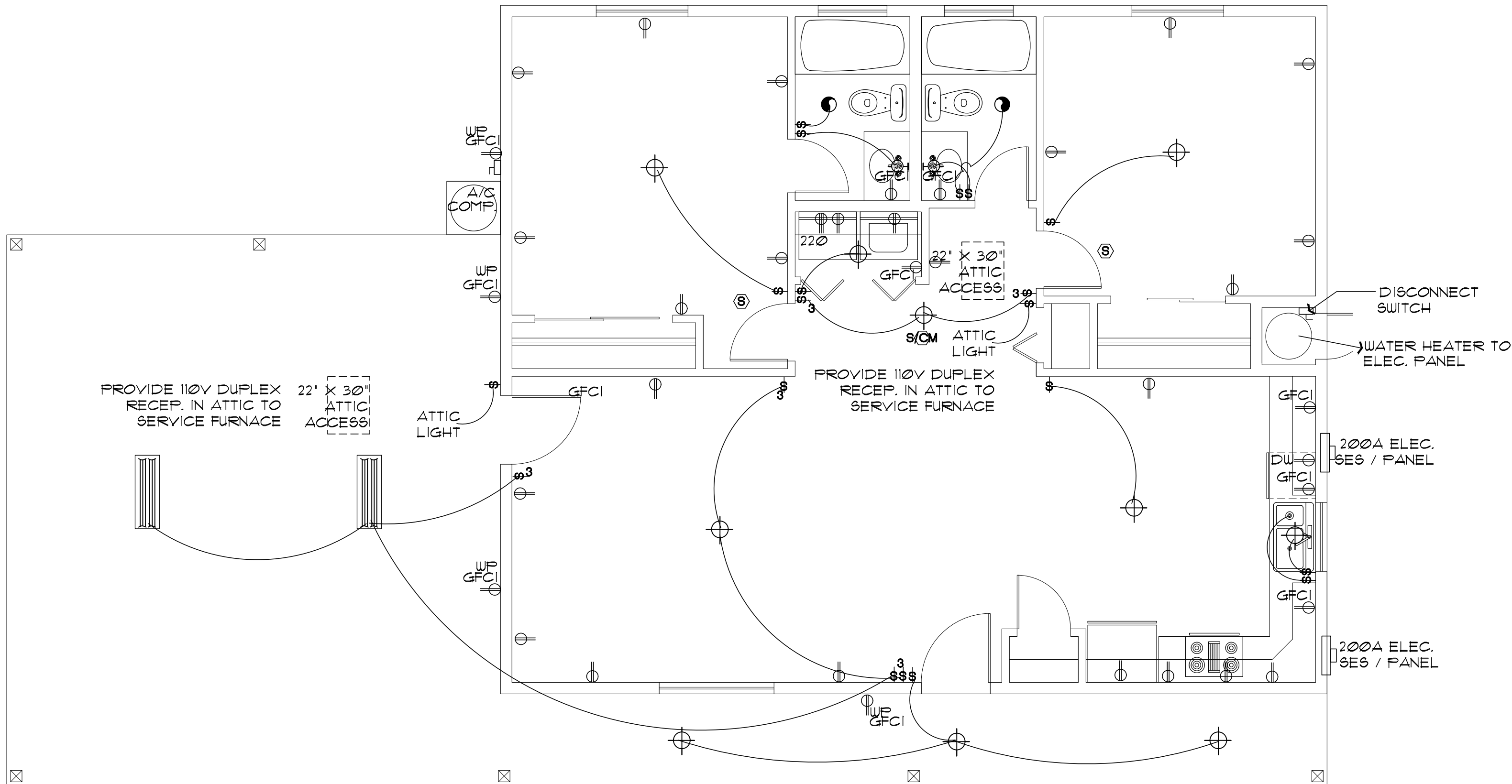
ELECTRICAL PLAN (with Garage option)

SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN (without Garage, or Carport option)

SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN (with Carport option)

SCALE: 1/4" = 1'-0"