2018 IRC - IBC

2006 **IECC**

CALL TWO WORKING DAYS BEFORE YOU DIG

1-800-STAKE-IT (1-800-782-5348) YAVAPAI COUNTY

2018 IRC R311.3 There shall be a floor or landing on each side of the exterior door. The width of the landing shall not be less than the door served with a minimum distance of 36" measured in the direction traveled.

The inspector may require further clarification on stamped plans. This may include, but not limited to a special inspection and /or a cross section detail stamped and signed by the Designer/Architect/Engineer of record.

YAVAPAI DEVELOPMENT SERVICES *PARCEL

*OWNER/APPLICANT PERMIT #: PROJECT: **HOME OF MY OWN - 1 BED RIGHT (2024 PLANS)**

- SOILS CONDITION

- SOILS COMPACTION

* Information required to be filled out by the applicant.

THIRD PARTY SPECIAL INSPECTIONS REQUIRED:

(Third party special inspections are not

in lieu of required building inspections.)

The following items require special inspections:

- BOTTOM OF FOOTING COMPACTION

THE GEOTECHNICAL ENGINEER.

- AND OTHER INSPECTIONS REQUIRED BY

Reports to be supplied to the Building Inspector

Yavapai County Ordinance, Section 112.6

CAUTION

Yavapai County permitted building plans do not relieve

the Owners or General Contractor from their

responsibilities to conform to all adopted building codes.

Every effort has been made to provide a thorough plan

review, however plans may contain irregularities. If plans

do not contain the proper information or details the

Owner/General Contractor Shall Not proceed with the

project until the issue has been resolved through Yavapai

County and any professional involved in the project

Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be

IBC 406.3.3: Garage/ carport surfaces used for parking of vehicles shall be sloped to drain liquids to the main vehicle entry doorway or an approved drain

Per 2018 IRCR309.1, R309.2, and

Effective April 20, 2006, **Fully shielded fixtures are** required for all exterior lamps

The mechanical equipment, design and system have been reviewed for the basic design ONLY. The HVAC contractor shall review the plans/ calculations to assure the design is adequate and complies with all applicable codes and installation

THE ENGINEERED **Drainage across Property Lines. GEOTECHNICAL REPORT IS A**

PART OF THE PERMITTED **DOCUMENTS, AND SHALL BE ONSITE AT ALL TIMES WITH THE** prevented by installation of non-erosive down-drains or PERMITTED PLANS. other devices.

Per Article 210.12 of the **2017 NEC**

Arc fault circuit interupters are required

THE GAS PIPING INSTALLER SHALL **VERIFY THE SYSTEM IS OF SUCH SIZE** FOR THE MAXIMUM DEMAND AND TO **MEET EACH APPLIANCE INLET AT NOT** LESS THAN THE MINIMUM SUPPLY PRESSURE REQUIRED

CAUTION:

Areas within Yavapai County are likely to have expansive, compressible, shifting or other unknown soils conditions. The building official may require a soils test to determine the soils characteristic at a particular location.

Applicant acknowledges that plans stamped by a registrant will not be fully reviewed by staff and that approvals are contingent upon favorable field inspections. Should conditions in the field prove non-conducive to code requirements, significant delays may be realized. Applicant attests that the sealed plans are in compliance with all applicable codes and ordinances

A separate permit for alternative electric source is required. The alternative electric source permit will need to be issued and finalized before a building final can be obtained

Foam spray shall comply with the ES Reports and applicable codes. It is the responsibility of the owner and/or contractor(s) to review reports and understand requirements before application, Ignition/thermal barrier is required unless otherwise exempt. Failure to comply may cause additional cost to the owner/contractor(s).

It is imperative that the owner /contractor print ALL permit documents from the online portal before inspection.

GENERAL GRADING NOTES:

Where the lot line walls, slopes, or other physical barriers prohibit 6" of fall within 10', drains or swales shall be provided to insure drainage away from the structure. **MAINTAIN MINIMUM 2:1 SLOPE**

The faces of cut and fill slopes shall be prepared and maintained to control against erosion. The protection for the slopes shall be installed as soon as practicable and prior to requesting final approval. NO GRADING WITHIN 2' OF PROPERTY LINES

aps

Contact APS BEFORE you start construction; APS Prescott Office: 928-443-6797; Prescottcontroldesk@apsc.com APS Cottonwood Office: 928-646-8502; Verdecontroldesk@apsc.com

APS Wickenburg Office: 602-371-6200; Wickenburg controldesk@apsc.co

The property owner shall be responsible to verify fire sprinkler requirements with the governing fire district

Provide at least one window or exterior door approved for emergency escape or rescue for every room used for sleeping purposes. 2018 IRC R310.1

IMPORTANT! Footings will not be inspected until the property corners are properly pinned,

Interconnected smoke detectors are required for this project per **2018 IRC R314.3.1. Each sleeping** room, outside each sleeping room and on each floor level.

APPROVAL IS SUBJECT TO FIELD INSPECTION AND COMPLIANCE WITH **ALL RELEVANT CODES,** LAWS AND ORDINANCES

RAIN GUTTERS & DOWNSPOUTS ARE REQUIRED

Positive drainage away from the structure is required. Refer to the geotechnical report for an additional requirements

flagged and easily identifiable to the building inspector.

Slab insulation shall be approved for the under slab application. Provide an ES No slab grade or floor framing Report and manufacturer's specifications if not using the pre-approved products inspections will be conducted

- 1. Extruded polystyrene insulation Dow square edge (Blue)
- 2. Extruded polystyrene Owen corning Foamular 250 (Pink)

Per 2018 YCABC Ordinance 2014-1 Section 110.3.4: **Pre-slab inspections are required**

without compaction reports.

Reviewed for Design Criteria Only

YES

/

Truss calculations to be on site at the time of frame inspection

BIG STAMP

BOARD OF SUPERVISORS

CRAIG BROWN, CHAIRMAN - DISTRICT 4

DONNA G. MICHAELS, Ph.D., VICE CHAIR - DISTRICT 3

HARRY B. OBERG, MEMBER - DISTRICT 1

JAMES GREGORY, MEMBER - DISTRICT 2

MARY MALLORY, MEMBER - DISTRICT 5



DEVELOPMENT SERVICES

JEREMY DYE, DIRECTOR MARK LUSSON, ASSISTANT DIRECTOR WARREN COLVIN, CHIEF BUILDING OFFICIAL



SE

COVER BDRM /

SHEET NO:

HOME OF MY OWN Phase Two Single-Family Housing ONE BEDROOM / ONE BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA 1015 Fair Street Prescott, Arizona

INDEX TO DRAWINGS

COVER SHEET W/ PROJECT INFORMATION FLOOR PLANS / OPENING SCHEDULES FOUNDATION PLANS ROOF FRAMING PLANS BRACE WALL PLANS EXTERIOR ELEVATIONS A-6.0**BUILDING SECTIONS** A - 7.0**DETAILS MECHANICAL** M-1**ELECTRICAL**

PROJECT INFORMATION

ALL WORK SHALL CONFORM TO ALL YAVAPAI COUNTY ADOPTED CODES, ORDINANCES AND POLICIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 INTERNATIONAL PLUMBING CODE (IPC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2017 NATIONAL ELECTRIC CODE (NEC) 2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

LIVABLE: 576 SQ. FT. CARPORT/ALT. GARAGE: 257 SQ. FT. **COVERED ENTRY:** 96 SQ. FT. **TOTAL UNDER ROOF:** 929 SQ. FT

OPTION WITHOUT GARAGE, OR CARPORT LIVABLE: 576 SQ. FT. **COVERED ENTRY:** 96 SQ. FT. **TOTAL UNDER ROOF:** 672 SQ. FT

OCCUPANCY: R-3 (Single-Family Residential) CONSTRUCTION TYPE: V-B

THESE HOMES WERE DESIGNED FOR A MAXIMUM ELEVATION OF 6200 FEET (40 LB. SNOW LOAD). THEY WERE NOT DESIGNED FOR A TILE ROOF

GENERAL NOTES

I. DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE, DIMENSIONS ARE NOT TO BE SCALED FROM THE WORKING DRAWINGS.

2. BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK. CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF YAVAPAI COUNTY DEVELOPMENT SERVICES.

3. GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.

4. GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.

5. DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBLITY OF THE GENERAL CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE

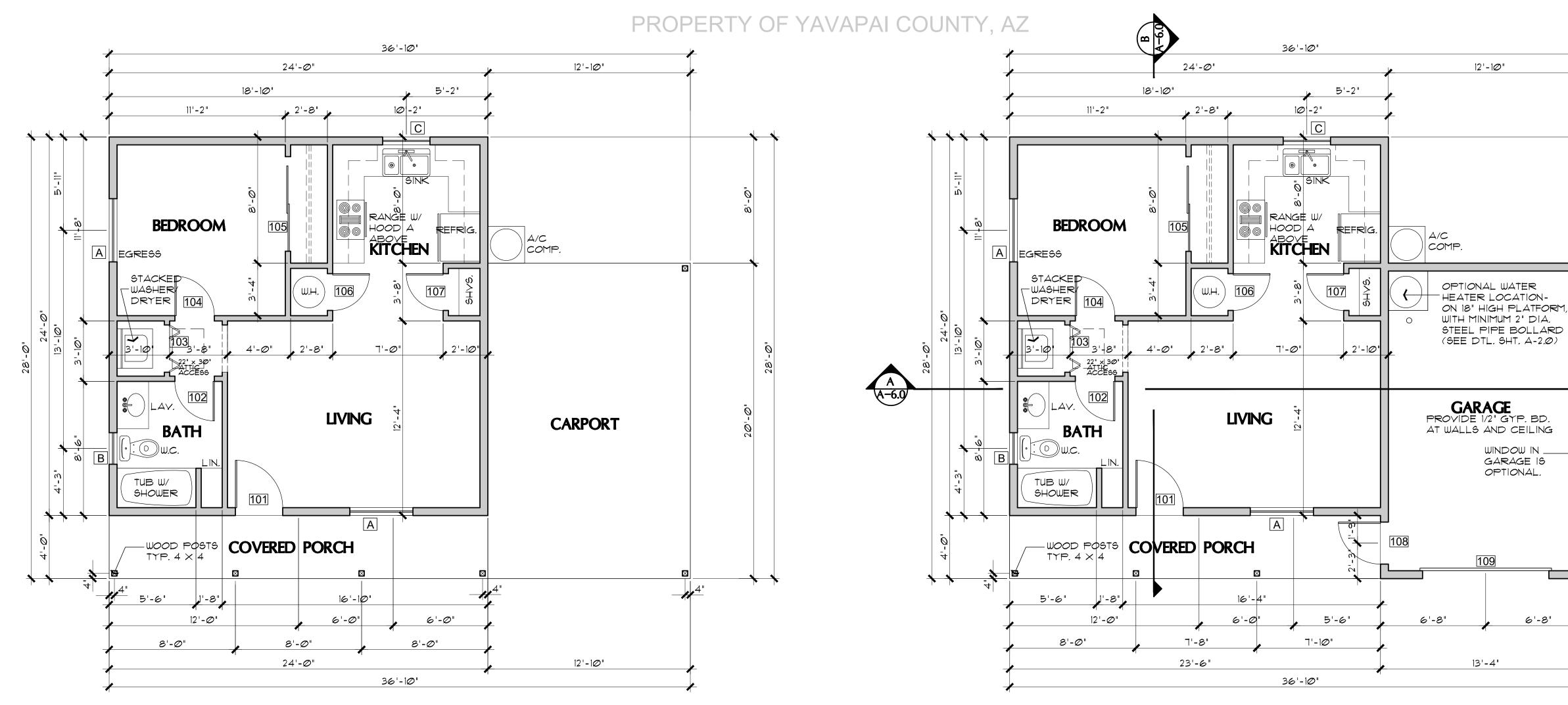
6. VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH, REGULAR FINISH WITH NO IRREGULARITIES.

1. IT IS THE RESPONSIBILTY OF THE GENRAL CONTRACTOR, TO THOROUGHLY REVIEW THE PLANS AND TO NOTIFY YAVAPAI COUNTY DEVELOPMENT SERVICES OF ANY DISCREPANCIES. YAVAPAI COUNTY, NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR MATERIALS IMPROPERLY ORDERED OR INSTALLED.

8. FAILURE BY THE GENERAL CONTRACTOR, OR SUB-CONTRACTORS, TO AQUAINT THEM-SELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR

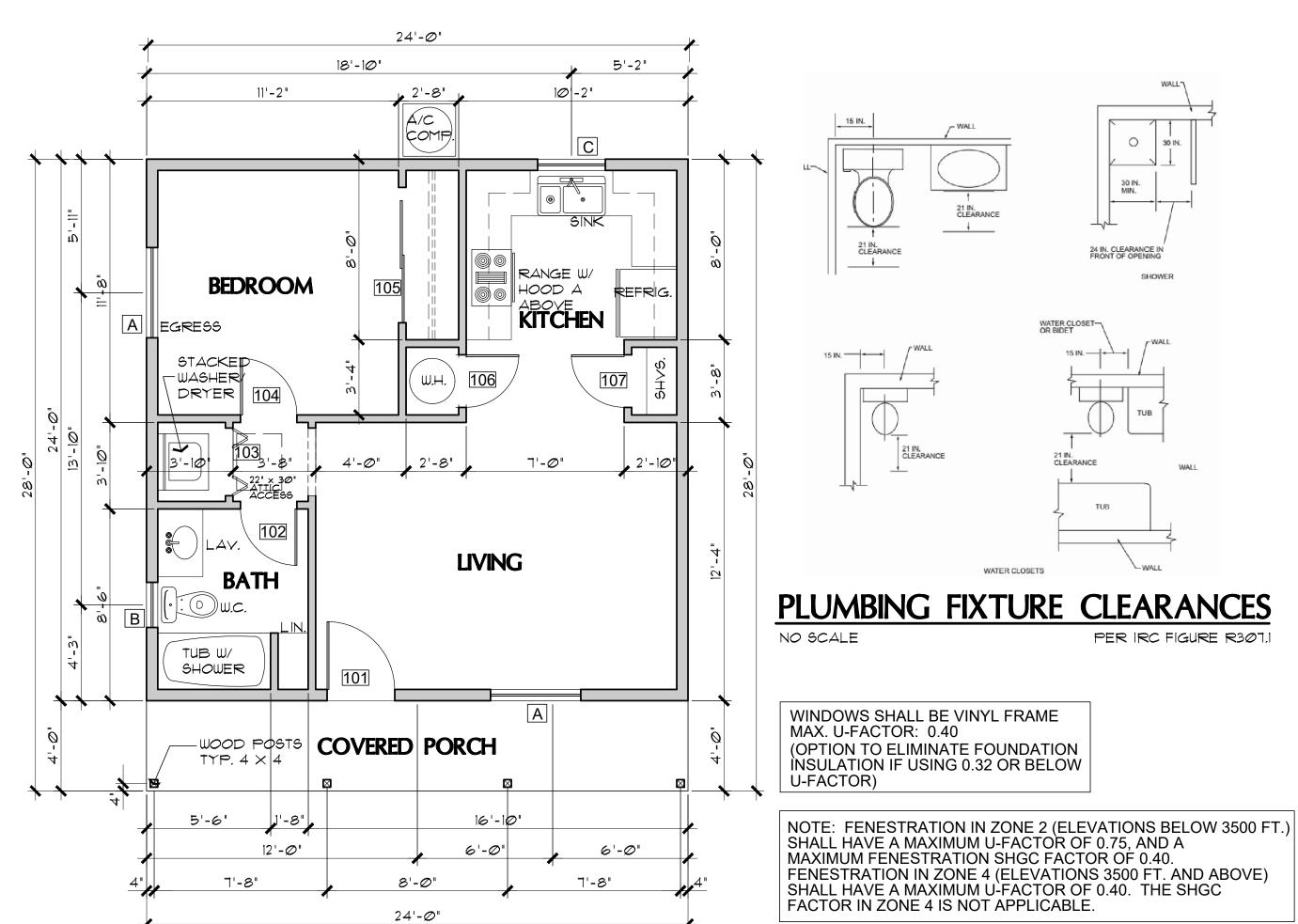
9. APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION BY YAVAPAI COUNTY PERSONELL.

10. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW, OR DOOR, FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.



FLOOR PLAN (with Carport option)

SCALE: 1/4" = 1'-0"



FLOOR PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

WINDOW IN .

DR.	SIZE			DOOR TYPE	
#	W.	H.	T.		REMARKS
101	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	
102	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
103	3'-0"	6'-8"	1-1/8"	INTERIOR BI-FOLD	
104	2'-8"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
105	6-0"	6'-8"	1-3/8"	SLIDING BI-PASS	
106	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	IF USING GAS WATER HEATER, PROVIDE 12" X 12" VENTS, ONE AT THE TOP, AND BOTTOM OF DOOR
107	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
108	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	
109	8'-0"	7'-0"	-	OVERHEAD GARAGE DOOR	

WINDOW SCHEDULE (8' plate height)

WIN.							
VVIIN.	SIZE	TYPE	REMARKS				
Α	4040	XO	EGRESS AT BEDROOM				
В	2030	SINGLE HUNG TEMPERED					
С	3030	XO					

WINDOW SCHEDULE (9' plate height)

		•	
WIN.	SIZE	TYPE	REMARKS
А	4050	XO	EGRESS AT BEDROOM MUST HAVE MAX. 44" SILL HEIGHT ABOVE FLOOR
В	2030	SINGLE HUNG TEMPERED	
С	3030	XO	

FLOOR PLAN (without Garage or Carport) SCALE: 1/4" = 1'-0"

A-1.0

SHEET NO:

Drawn by

Revisions:

Scale

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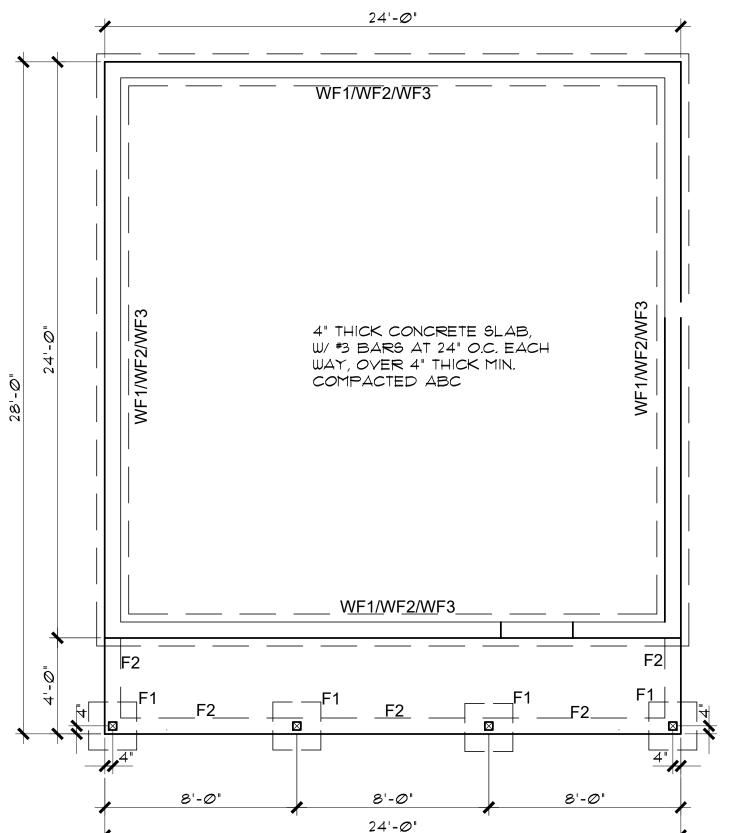
Yavapai County Government, and are not to be reproduced, or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project.

Scales as stated hereon are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown hereon and at

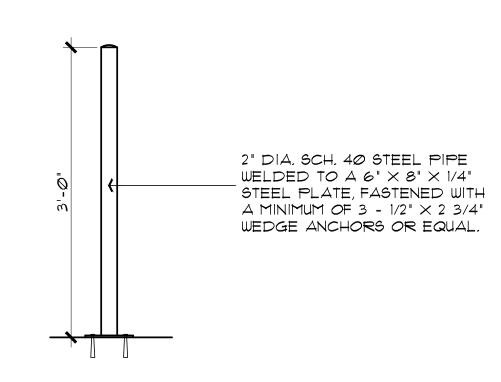
once report to the Architect any error, inconsistancy or omission he may discover.

ROGERS N

It is to be returned upon request.



24'-0" FOUNDATION PLAN SCALE: 1/4" = 1'-0" (without Garage or Carport option)



BOLLARD DETAIL

SCALE: 1" = 1'-0" THIS DETAIL APPLIES ONLY IF LOCATING THE WATER HEATER IN THE GARAGE.

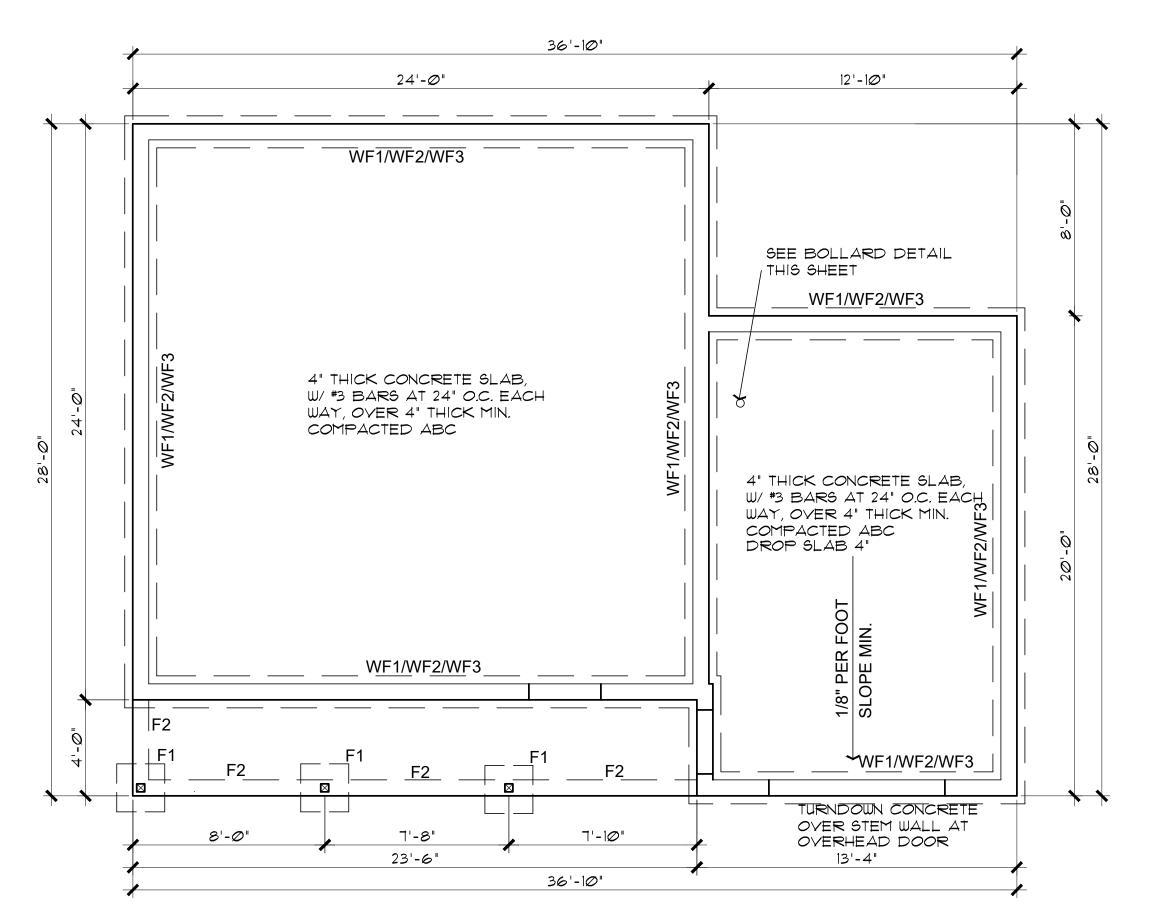
NOTE: THE FOOTINGS SIZE, THICKNESS, AND BOTTOM OF FOOTING DEPTH THIS SHALL INCLUDE ANY OVER EXCAVATIONS, ENGINEERED PAD REQUIREMENTS, AND/OR A CHANGE IN DEPTH, AND TYPE OF BASE COURSE UNDER THE CONCRETE SLABS.

SEE FOUNDATION DETAILS SHEET A7.0

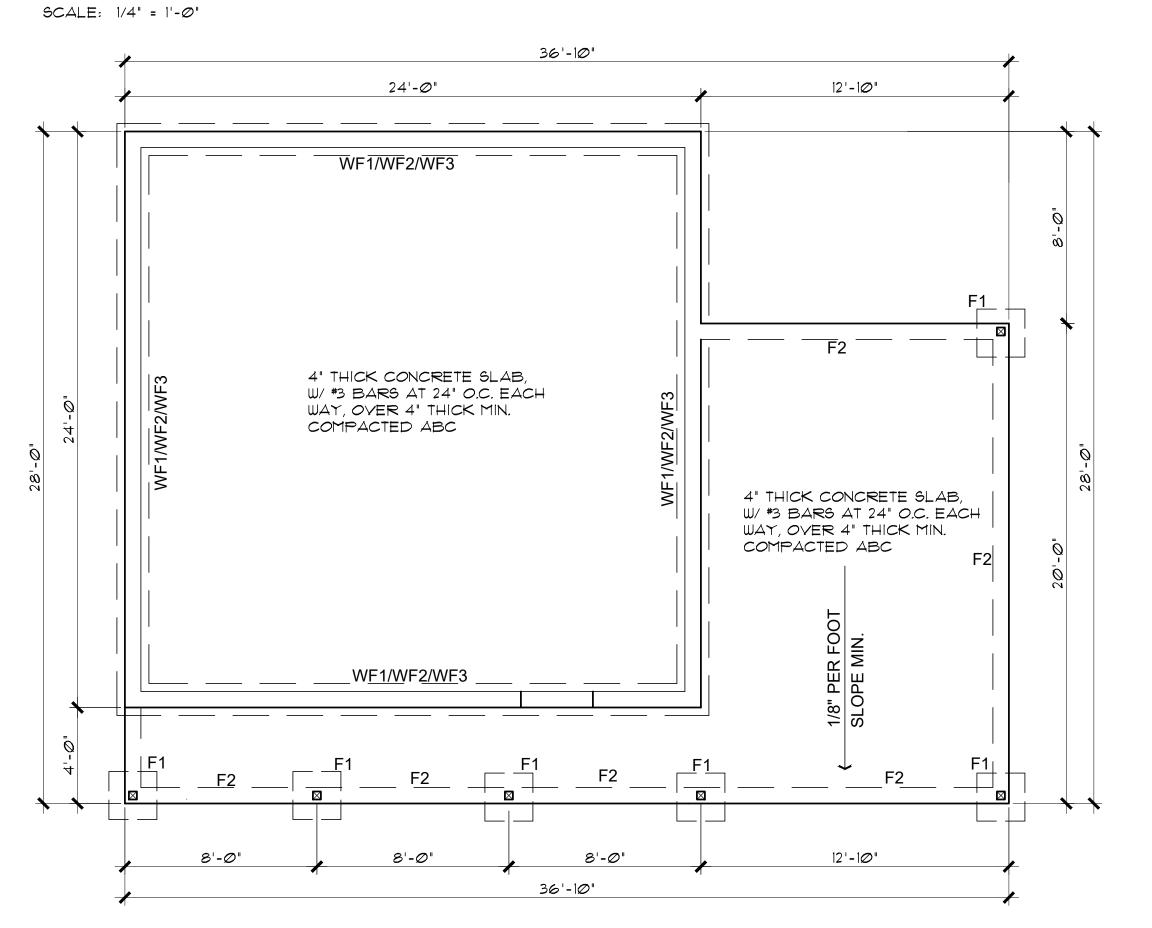
FOUNDATION NOTES

1. FOOTINGS TO BE A MIN. OF 8" THICK IN 18" MIN. UNDISTURBED SOIL.

- 2. FOOTINGS AND INTERIOR FLATWORK TO BE MIN. 2500 P.S.I. MIN COMPRESSIVE STRENGTH AT 28 DAYS.
- 3. FOUNDATION SUPPORTED WOOD TO EXTEND MIN. 6" ABOVE
- 4. FOUNDATION PLATES AND SILLS SHALL BE BOLTED TO FOUNDATION WITH MIN. 1/2" BOLTS 6'-0" O.C., 12" FROM
- CORNERS AND EMBEDDED 7" INTO FOUNDATION WALL 5. EXTERIOR FLATWORK SLOPE TO BE 1/4" PER FOOT.
- 6. CONTRACTOR TO EMBED 20' OF #4 G.A. COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND.
- 7. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL
- A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- 8. ALL EXTERIOR PLATES, LOAD BEARING AND NON LOAD BEARING SHALL BE PRESSURE TREATED, LESS THAN 8" ABOVE GRADE
- 9. FILL BEING PLACED THAT EXCEEDS 2' WILL REQUIRE A CERTIFIED COMPACTION TEST AND REPORT.



FOUNDATION PLAN (with Garage option)



FOUNDATION PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

NOTES RIGHT PARKING

Drawn by:

Scale Revisions:

Chk'd by : MFR

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MARK F.

ROGERS N

It is to be returned upon request.

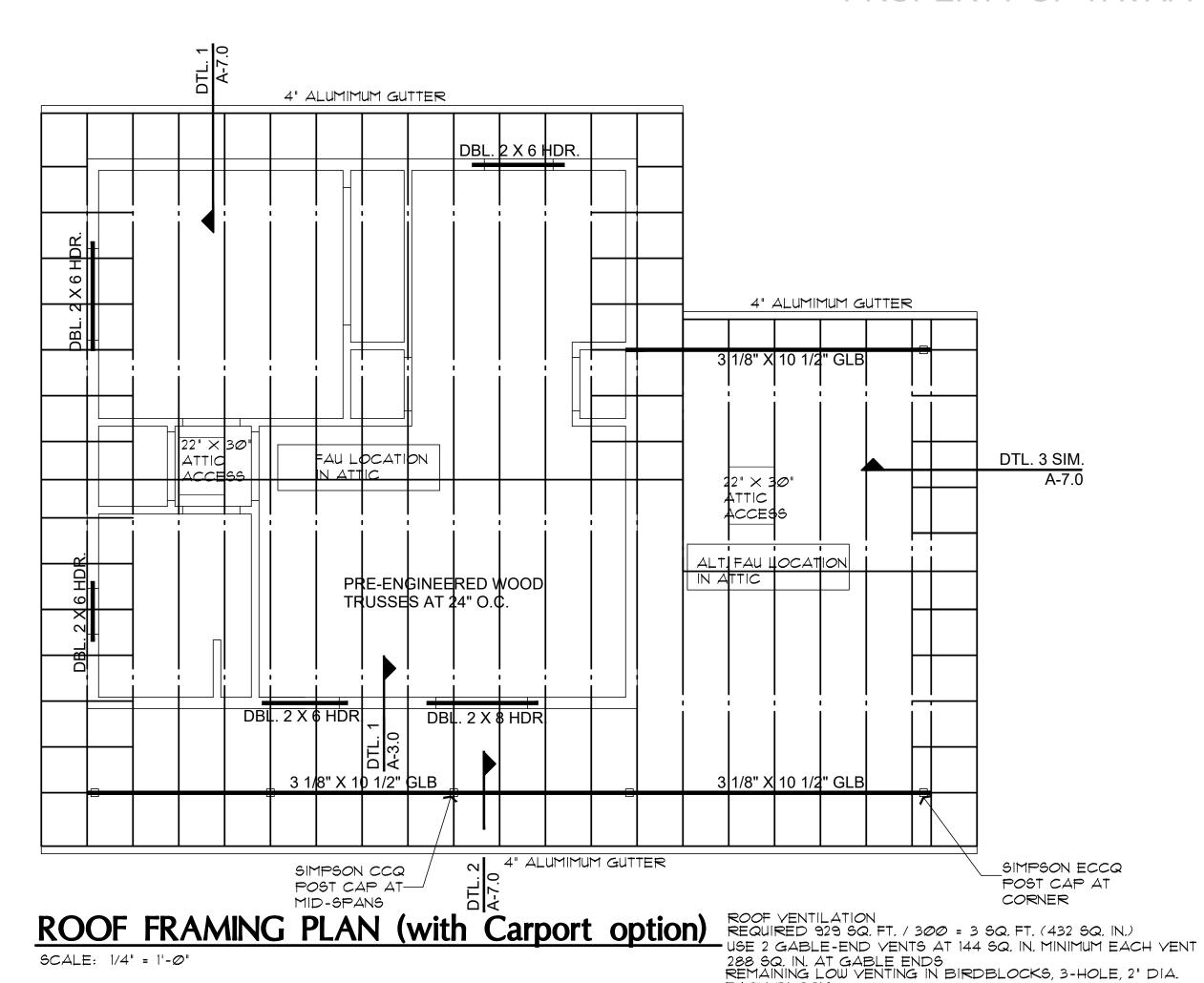
SHEET NO:

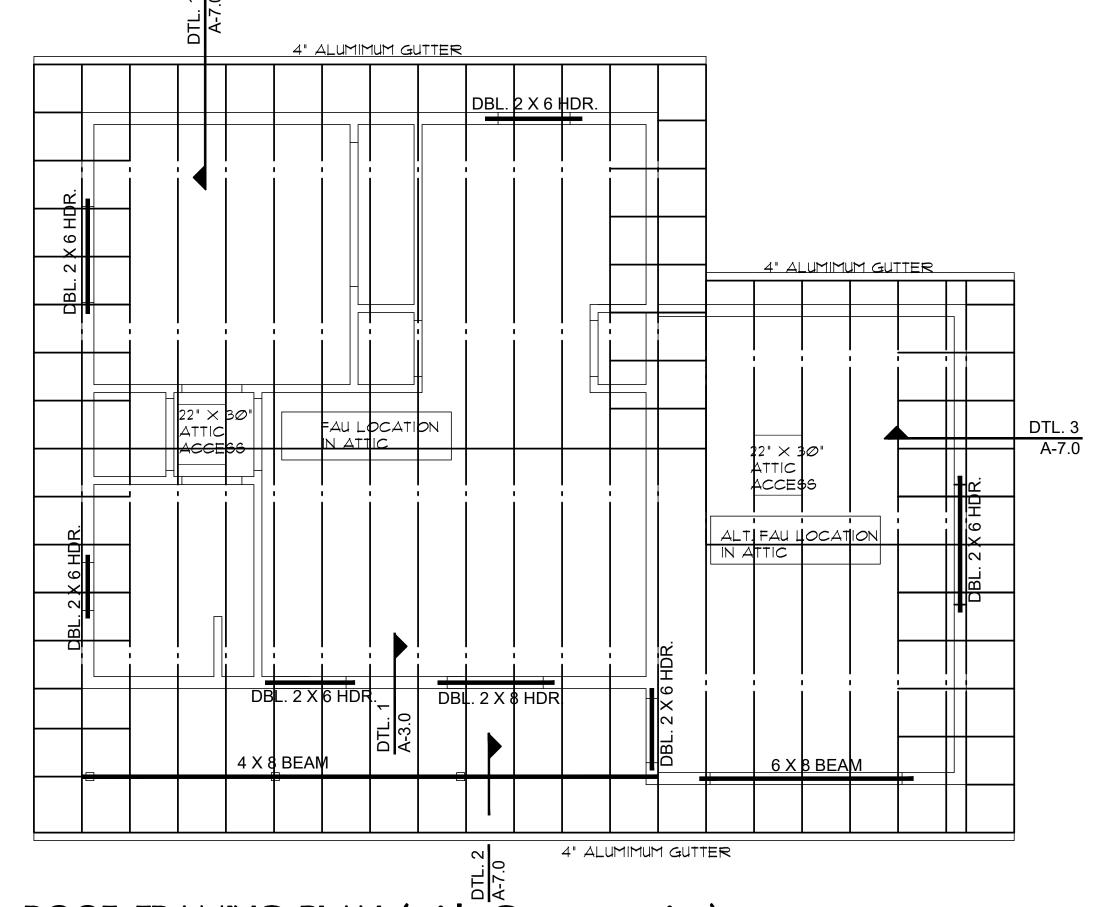
A-2.0

SEE ATTACHED COVER SHEET FOR ALL STAMPS. IT IS THE RESPONSIBILITY OF THE

OWNER/APPLICANT TO REVIEW AND

ACKNOWLEDGE APPLICABLE STAMPS.

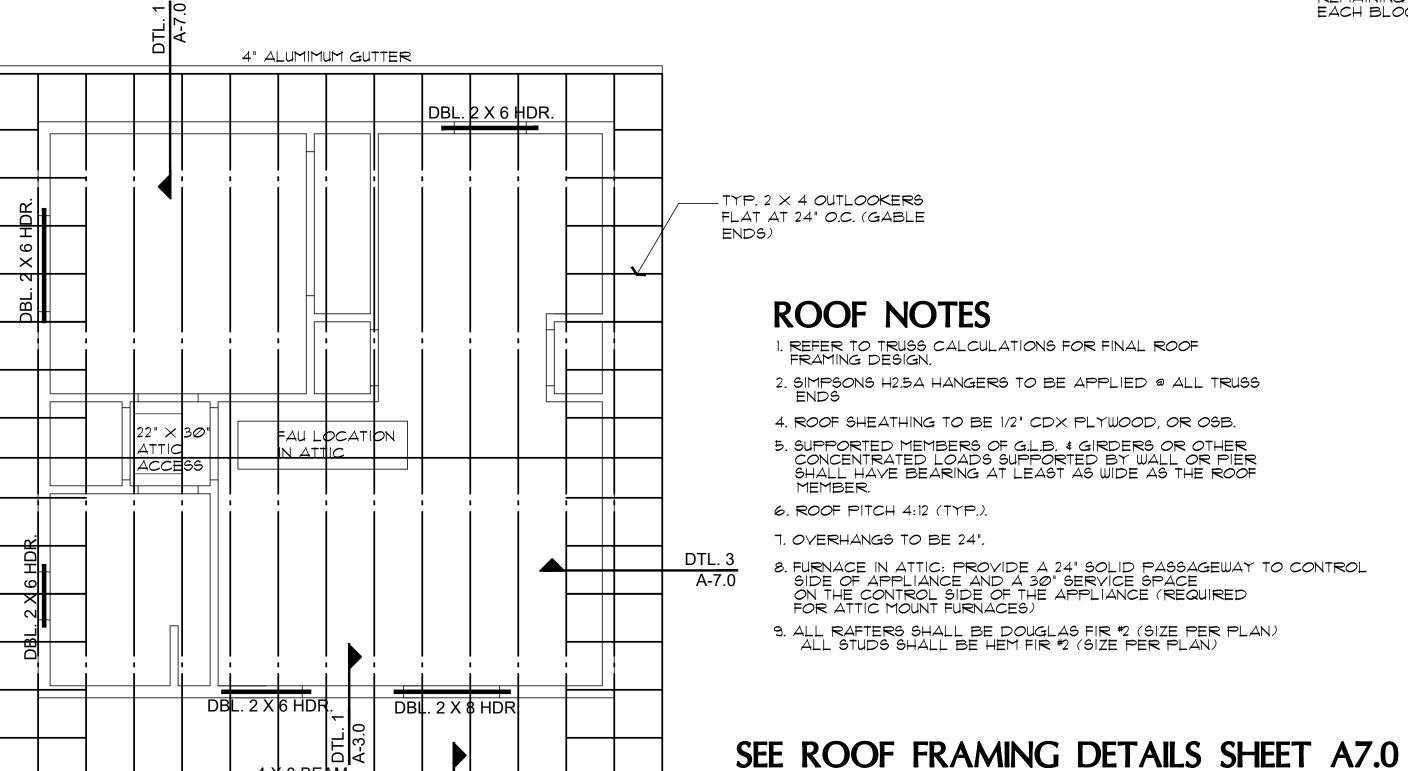




ROOF FRAMING PLAN (with Garage option)

SCALE: 1/4" = 1'-0" ROOF VENTILATION REQUIRED 929 SQ. FT. / 300 = 3 SQ. FT. (432 SQ. IN.) USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT 288 SQ. IN. AT GABLE ENDS REMAINING LOW VENTING IN BIRDBLOCKS, 3-HOLE, 2" DIA.

NOTE: PROVIDE PANEL EDGE SUPPORT FOR NARROW-WIDTH ROOF SHEATHING PER APA TECHNICAL REPORT #R275A.

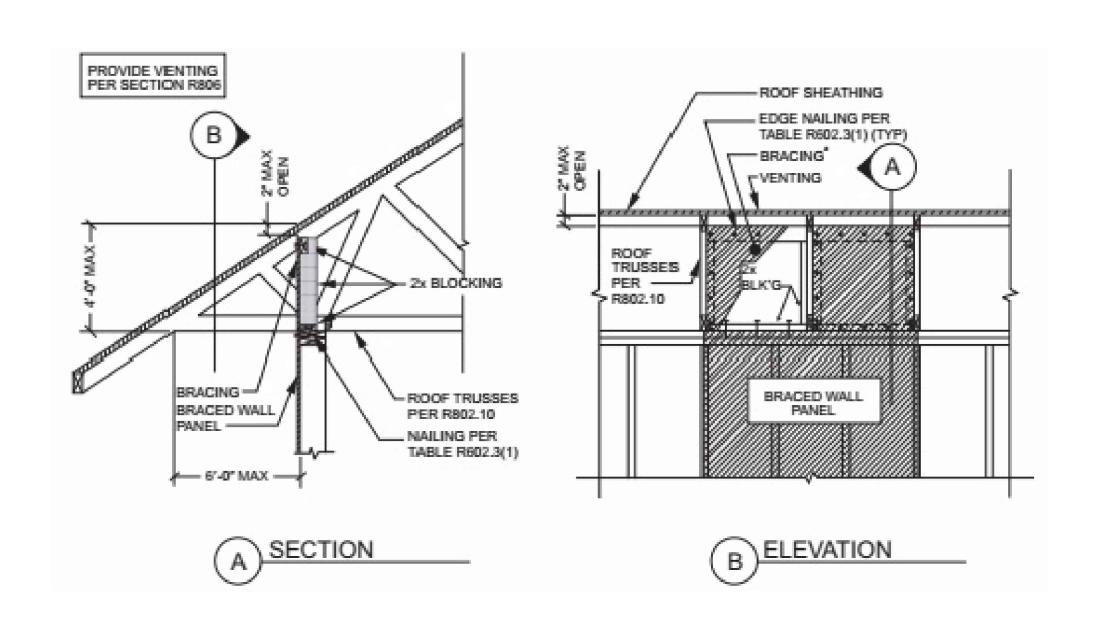


4" ALUMIMUM GUTTER

ROOF FRAMING PLAN (no Garage or Carport)

ROOF VENTILATION REQUIRED 672 SQ. FT. / 300 = 2.24 (USE 3 SQ. FT.) (432 SQ. IN.)

USE 2 GABLE-END YENTS AT 144 SQ. IN. MINIMUM EACH YENT 288 SQ. IN. AT GABLE ENDS REMAINING LOW VENTING IN BIRDBLOCKS, 3-HOLE, 2" DIA.



BRACED WALL PANEL CONNECTION OPTION AT PERPENDICULAR ROOF TRUSSES

2018 IRC FIGURE R602.10.8.2(3)

PROPERTY OF YAVAPAI COUNTY. AZ

SE

Drawn by:

Scale Revisions:

P

Chk'd by: MFR

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MARK F ROGERS N

It is to be returned upon request.

SHEET NO:

A - 3.0

36'-10" 24'-Ø" 12'-10" 4'-0" 23'-6" 13'-4" FLOÓR PLAN (with Garage option)

BRACE WALL CALCS W/O GARAGE

						LUU .	V / O	37 (147 (
WIND SPEED (MPH)			115		115		115		115		115	
BRACED WALL LINE		1		2		Α		В				
	STORY											
BR	ACED WALL PANEL METHO	DD	CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G			
	AVG BWL SPACING (ft)		24		24		24		24			
	TABULAR REQUIRED (ft)		3.90		3.90		3.90		3.90			
	EXPOSURE		С	1.20	С	1.20	С	1.20	С	1.20	С	
	EAVE-RIDGE HT (ft)	Ĺ	5.00	0.70	5.00	0.70	5.00	0.70	5.00	0.70		
Ż	STORY HEIGHT (ft)		9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95		
ADJUSTMENT	# BWLs		2.00	1.00	2.00	1.00	2.00	1.00	2.00	1.00		
Ĭ.	ADD PAIR 800# HOLD DOWNS		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
₹ [OMIT INTERIOR GB		ИО	1.00	NO	1.00	ИО	1.00	NO	1.00		
	METHOD GB FASTEN @ 4" o.c		ИО	1.00	NO	1.00	ИО	1.00	NO	1.00		
	HORIZONTAL BLOCKING O	MITTED	NO	1.00	NO	1.00	ИО	1.00	NO	1.00		
R	REQUIRED BWP LENGTH (ft)		3.11		3.11		3.11		3.11			
		BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	4.00	CS-WSP	3.83	CS-W\$P	4.00		
ê		2	CS-WSP	3.58	CS-WSP	4.00	CS-WSP	3.25	CS-WSP	4.00		
<u>ا</u>	CONTRIBUTING LENGTH	3										
ACTUAL BV	CONTRIBUTING LENGTH	4										
Ą		5										
		6										
		7										
7	ACTUAL BWP LENGTH (ft)		7.58		8.00		7.08		8.00			
ACTUAL ≥ REQUIRED		YES		YES		YES		YES				
SPACE	BWPs ≤ 20' APART		YES		YES		YES		YES			
# of	Length of BWL (ft)		24		24		24		24			
BWPs	BWP 1 ≤ 16', 2 > 16'		,	YES	,	YES	,	YES	,	YES		
ENDS	BWP WITHIN 10' OF EN	ND D	YES	YES	YES	YES	YES	YES	YES	YES		
LINDO	CONTINUOUS END COND	ПОИ	3	1	3	3	1	1	3	3		
В	WL COMPLIANCE PASS-FA	S-FAIL PASS		PASS		PASS		F	PASS			

RDACE WALL CALCS WITH CARACE

WIND SPEED (MPH)			115		115		115		115		115	
BRACED WALL LINE			1			2		A	В			
STORY												
BRA	CED WALL PANEL METHO	D	CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-VSP CS-PF CS-G		CS-WSP CS-PF CS-G			
,	AVG BWL SPACING (ft)		24		24		36.83		36.83			
T	TABULAR REQUIRED (ft)		3.90		3.90		5.52		5.52			
	EXPOSURE		С	1.20	С	1.20	С	1.20	С	1.20	C	
	EAVE-RIDGE HT (ft)		5.00	0.70	5.00	0.70	5.00	0.70	5.00	0.70		
洁	STORY HEIGHT (ft)		9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95		
ADJUSTMENT	# BWLs		2.00	1.00	2.00	1.00	2.00	1.00	2.00	1.00		
ž	ADD PAIR 800# HOLD DOWNS		NO	1.00	ИО	1.00	NO	1.00	NO	1.00		
₹	OMIT INTERIOR GB		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
	METHOD GB FASTEN @ 4" o.c		NO	1.00	ИО	1.00	NO	1.00	ИО	1.00		
Н	HORIZONTAL BLOCKING OMITTED		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
RE	REQUIRED BWP LENGTH (ft)		3.11		3.11		4.41		4.41			
		BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD `	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	4.00	CS-WSP	3.83	CS-WSP	4.00		
BWP		2	CS-WSP	3.58	CS-WSP	4.00	CS-WSP	3.25	CS-WSP	4.00		
	CONTRIBUTING LENGTH	3	CS-WSP	4.00	CS-WSP	2.67						
ACTUAL		4										
¥		5										
		6										
A	CTUAL BWP LENGTH (ft)		11.58		10.67		7.08		8.00			
ACTUAL ≥ REQUIRED		YES		YES		YES		YES				
SPACE	PACE BWPs ≤ 20' APART			YES	YES		YES		YES			
# of	Length of BWL (ft)	_		6.83		6.83	24		20			
BWPs	Ps BWP 1 ≤ 16', 2 > 16'			YES		YES		YES		YES		
ENDS -	BWP WITHIN 10' OF EN		YES	YES	YES	YES	YES	YES	YES	YES		
	CONTINUOUS END CONDITION		3	3								
BW	L COMPLIANCE PASS-FA	IL.	P	ASS	P	ASS	F	PASS	F	PASS		

Mar

Drawn by: MFR Chk'd by: MFR

Revisions:

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ROGERS N

FRONT ELEVATION (with optional Garage)

ROGERS L

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Drawn by: MFR
Chk'd by: MFR

Scale

Revisions:

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION (with optional Carport)

FRONT ELEVATION (with optional Carport)

NOTE: SEE SHEET A-4.0 FOR EXTERIOR WALL FINISH OPTIONS.

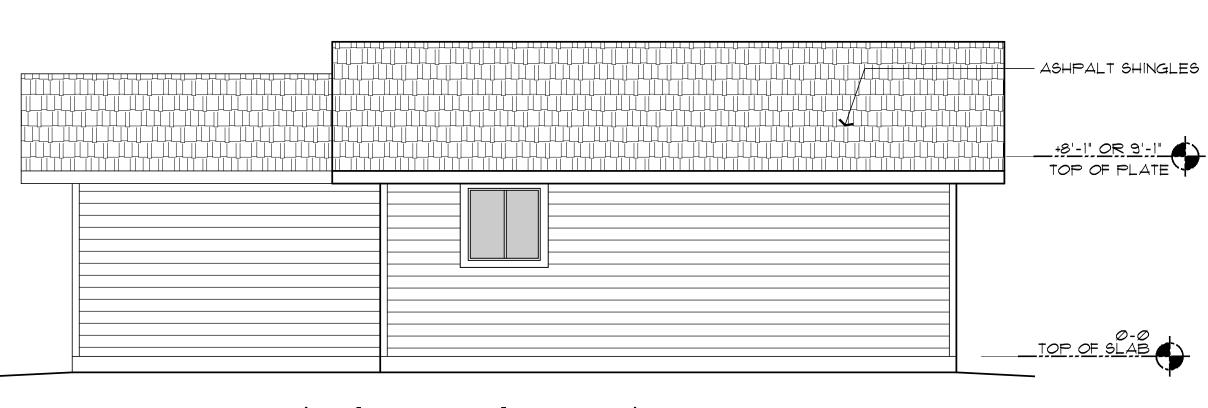
PAINTED 2×4 TRIM AT ALL EXTERIOR CORNERS TOP OF SLAB OWNER'S/CONTRACTOR'S
OPTION TO PROVIDE WINDOW
AT GARAGE

RIGHT SIDE ELEVATION (with optional Garage)

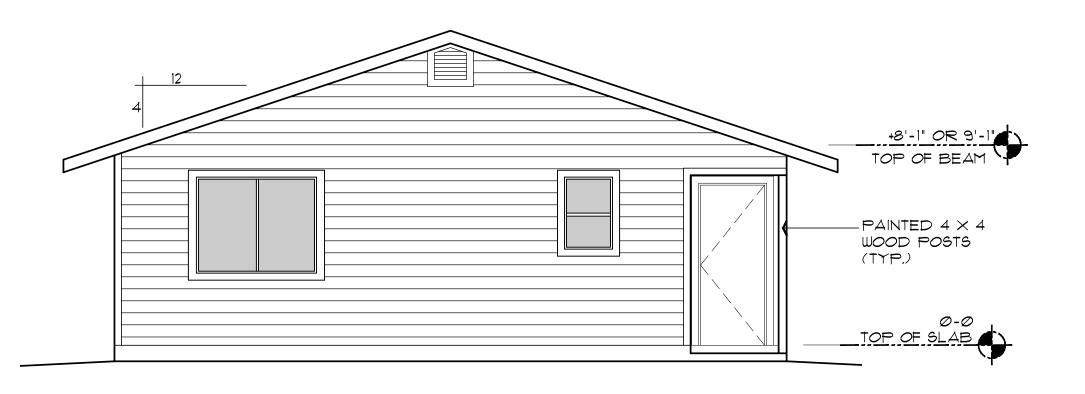
REAR ELEVATION (with optional Carport)

FRONT ELEVATION (without Garage, or Carport option)

SCALE: 1/4" = 1'-0"



REAR ELEVATION (with optional Garage)



LEFT SIDE ELEVATION (similar for all options)

SCALE: 1/4" = 1'-0"

Rogers,

Mar

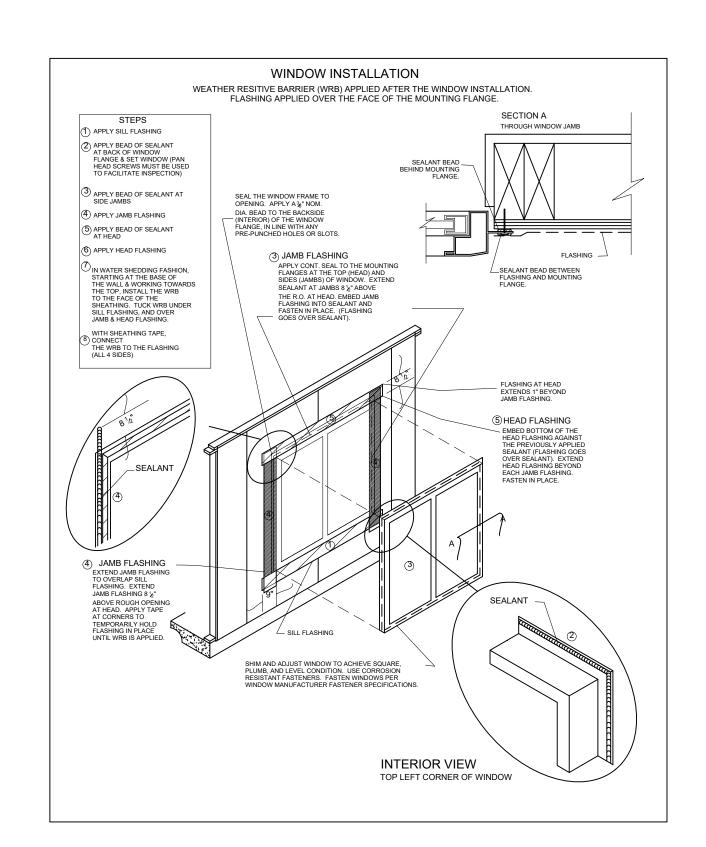
PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

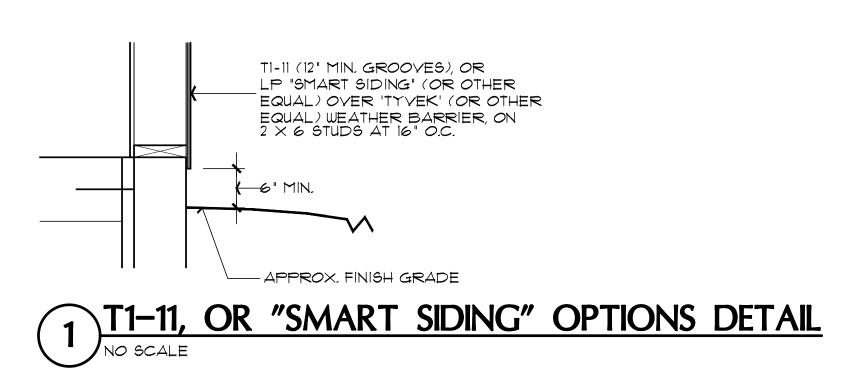
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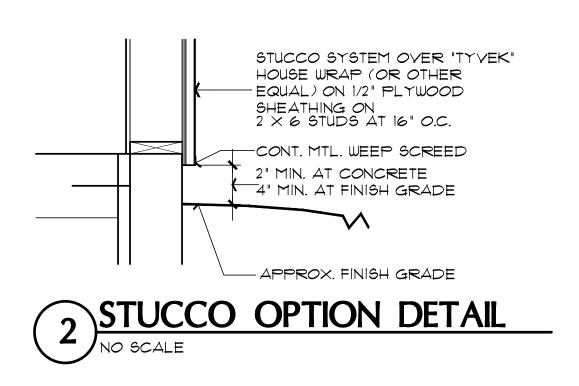
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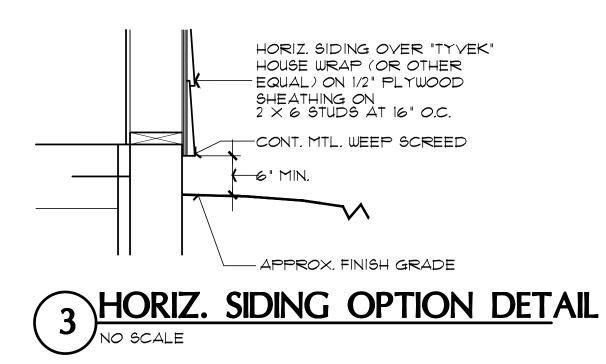
OWNER/APPLICANT TO REVIEW AND

ACKNOWLEDGE APPLICABLE STAMPS.

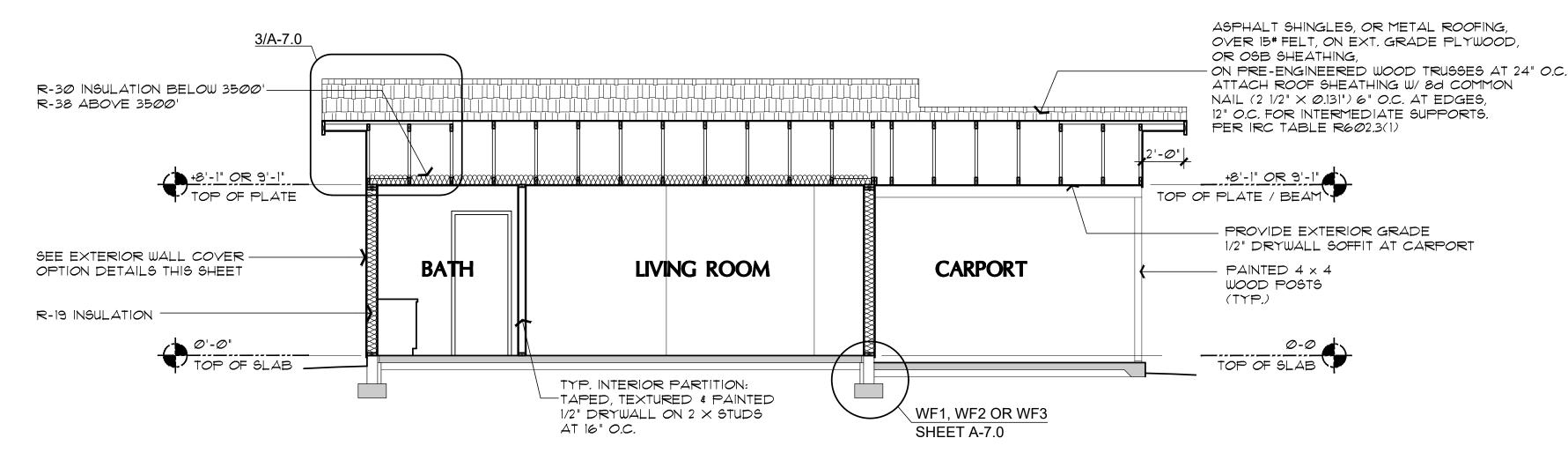




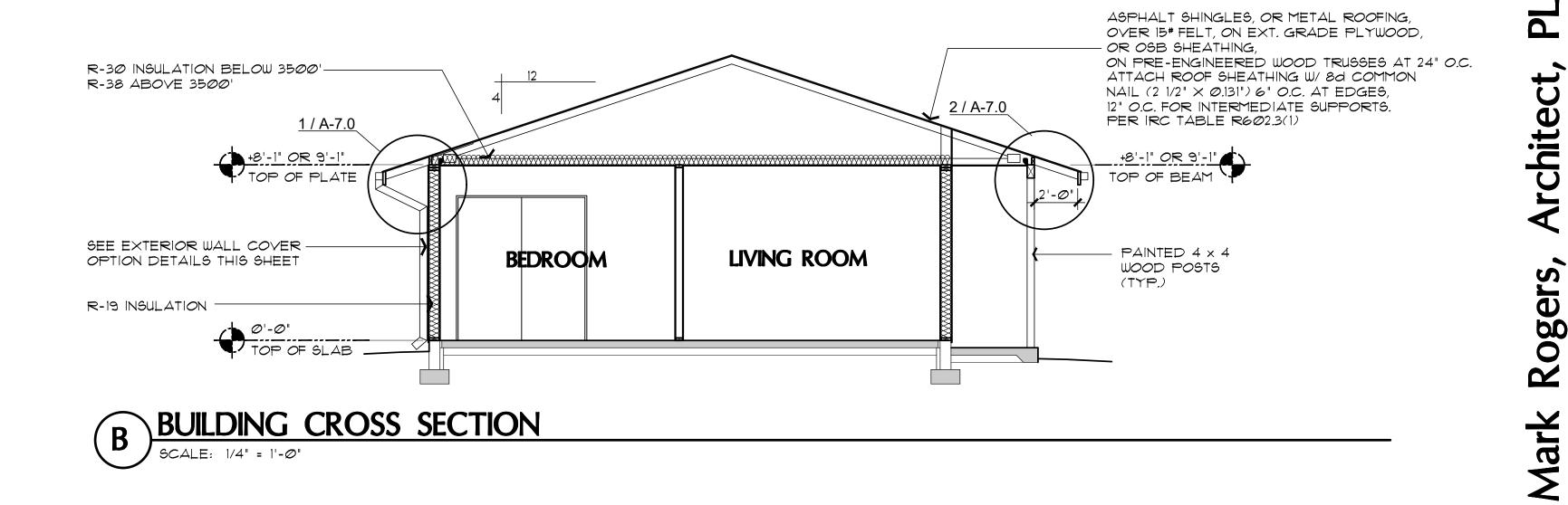


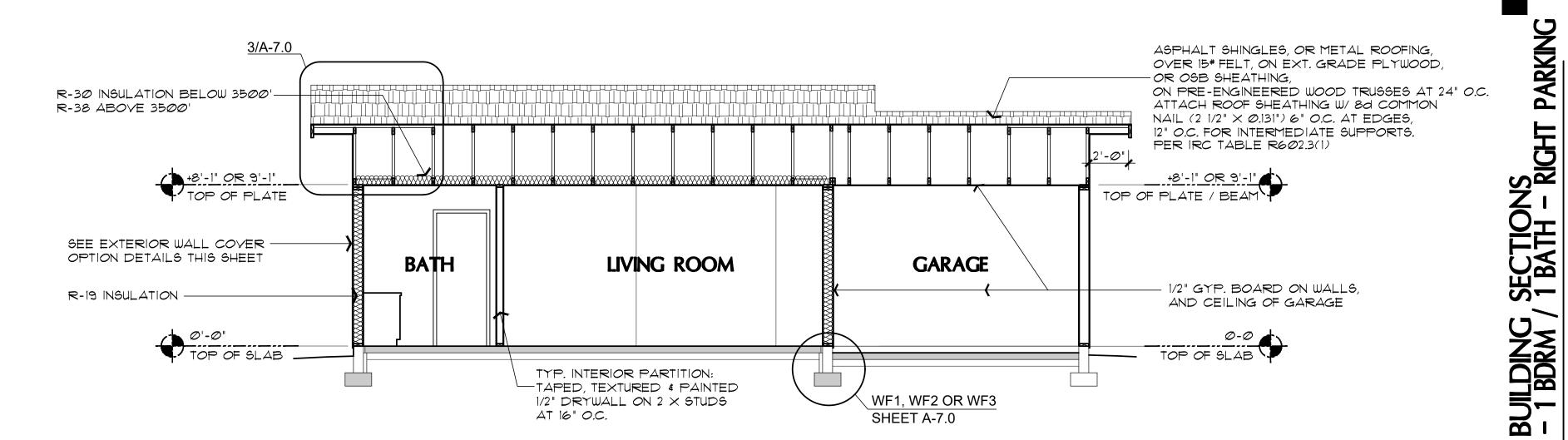






BUILDING CROSS SECTION (with optional Carport) SCALE: 1/4" = 1'-0"





WF1, WF2 OR WF3

SHEET A-7.0

TAPED, TEXTURED & PAINTED

1/2" DRYWALL ON 2 \times STUDS AT 16" O.C.

BUILDING CROSS SECTION (with optional Garage)

SCALE: 1/4" = 1'-0"

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Drawn by

Revisions:

Scale

Chk'd by : MFR

MAY <u>24, 2024</u>



ARIZONA

PHASE TWO SHEET NO:

AP,

A - 6.0

PROPERTY OF YAVAPAI COUNTY. AZ

POST BASE FOOTING

4" THK. CONC. SLAB W/

TYPICAL TURN-DOWN FOOTING

4" COMP. ABC

#3 BARS AT 32" O.C. EA. WAY OVER

ASPHALT SHINGLES, OR METAL

R-38 BATT INSULATION

SIMPSON H2.5A (TYPICAL

-CONT. 4" ALUMINUM GUTTER

4" ALUMINUM DOWNSPOUTS AS SHOWN ON ROOF PLAN

R-21 BATT INSULATION

1/2" DRYWALL AT WALLS

AND CEILINGS

TAPED, TEXTURED & PAINTED

ASPHALT SHINGLES, OR METAL

ROOF PANELS, OVER 15# MIN. ROOFING

FELT, 1/2" OR 5/8" PLYWOOD SHEATHING,

EACH TRUSS, UNLESS

NOTED OTHERWISE)

EACH TRUSS

2'-Ø"

 $_{-}$ 4 imes 4 PAINTED WOOD POST

OR OSB

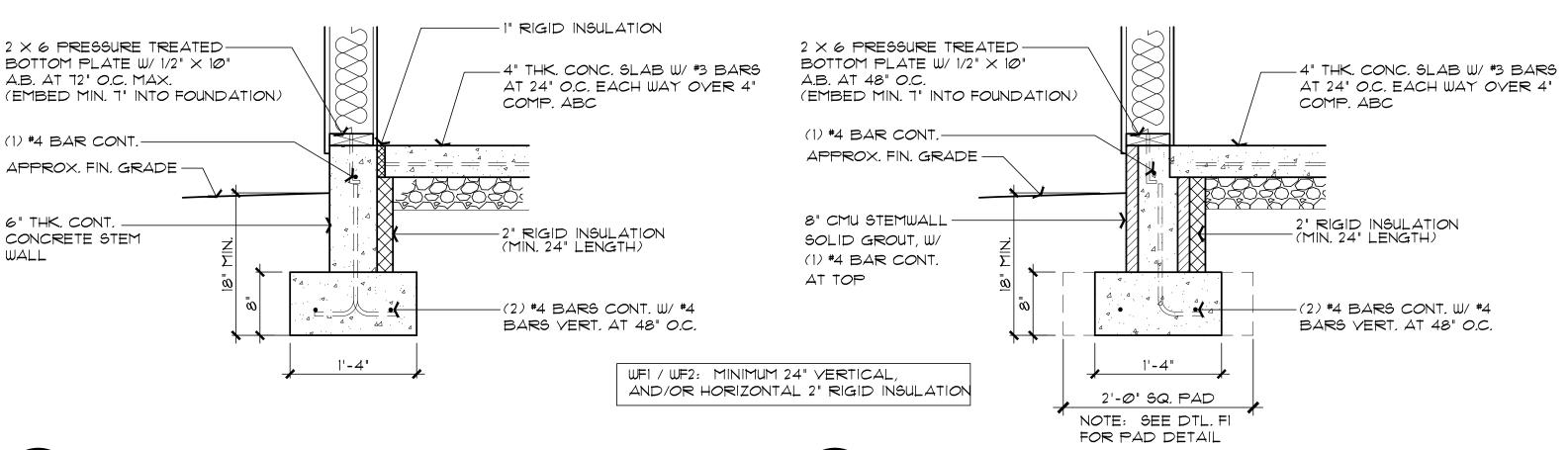
-PAINTED 1/2" A/C PLYWOOD

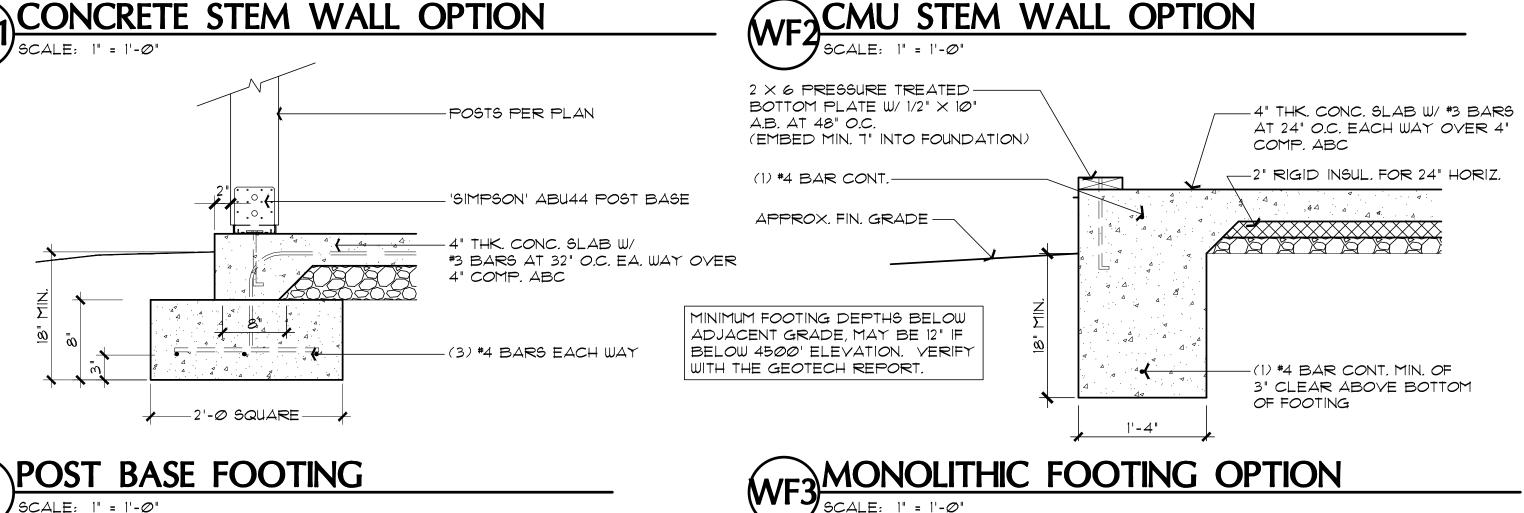
ATTACH ROOF SHEATHING W/8d COMMON NAIL (2 1/2" \times Ø.131") 6" O.C. AT EDGES, 12" O.C. FOR INTERMEDIATE SUPPORTS. PER IRC TABLE R602.3(1)

ROOF OVERHANG AT BEAM DETAIL

ASPHALT SHINGLES, OR METAL ROOF PANELS, OVER 15# MIN. ROOFING FELT, 1/2" OR 5/8" PLYWOOD SHEATHING, ON PRE-ENGINEERED TRUSSES AT 24" O.C. PAINTED 2×8 FASCIA 2 × 4 LADDER BRACING AT 48" O.C. R-38 MIN. INSULATION AT ATTIC $^-$ 2 imes BLOCKING AT 24" O.C. DOUBLE 2 × 6 TOP PLATE TAPED, TEXTURED-AND PAINTED 1/2" DRYWALL AT WALLS, SEE BRACE WALL PLAN SHEET AND CEILINGS FOR EXTERIOR WALL FINISH OPTIONS OVER WEATHERPROOF MOISTURE/AIR BARRIER, ON 2 × 6 STUDS AT 16" O.C. R-19 MIN. INSULATION IN EXTERIOR WALLS

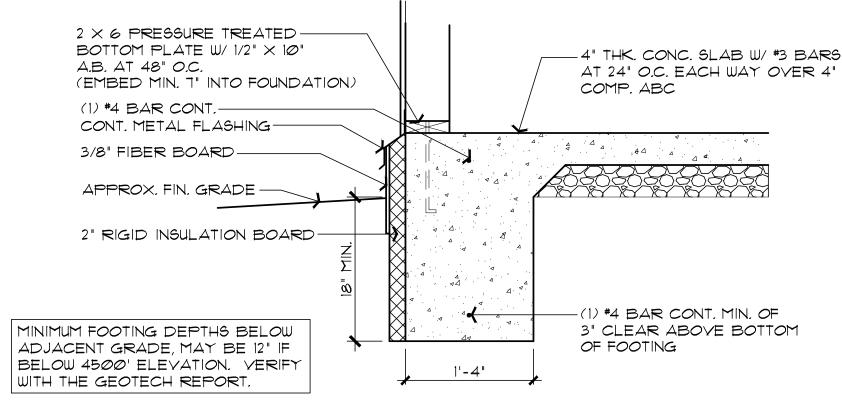
GABLE END-WALL DETAIL





SCALE: 1" = 1'-0"

NOTE: SLAB INSULATION MAY BE ELIMINATED IF USING WINDOWS WITH 0.32 U-FACTOR OR BETTER.



MONOLITHIC FOOTING OPTION WITH WF4 EXTERIOR SLAB INSULATION

Image: Control of the con oger Mar

<u>MAY 24, 2024</u>

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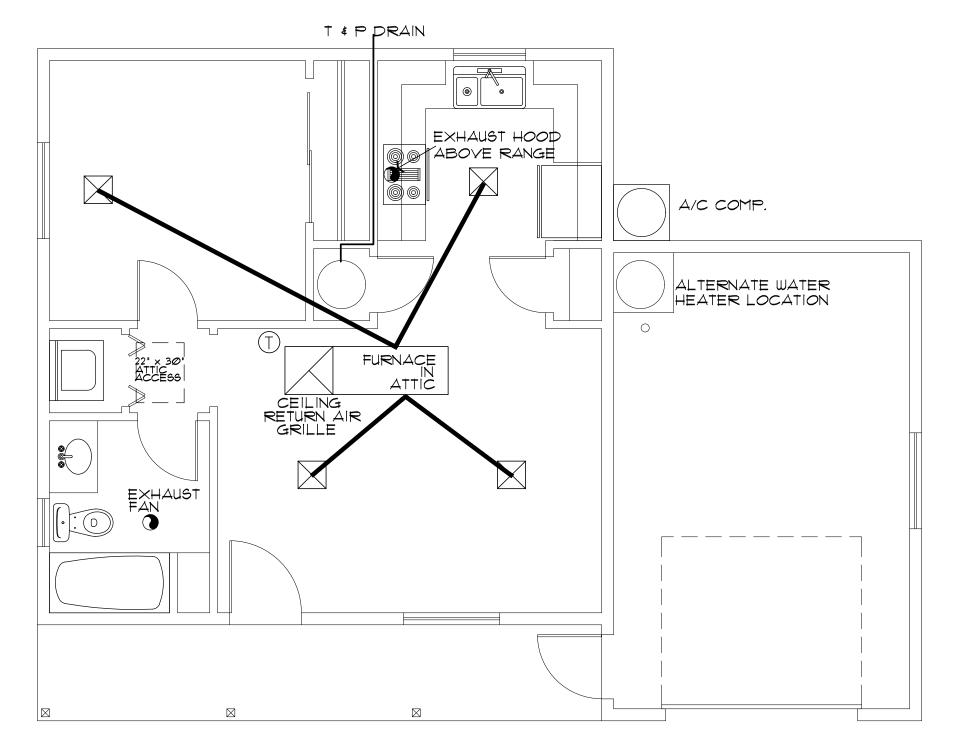
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DETAILS - RIGHT PARKING

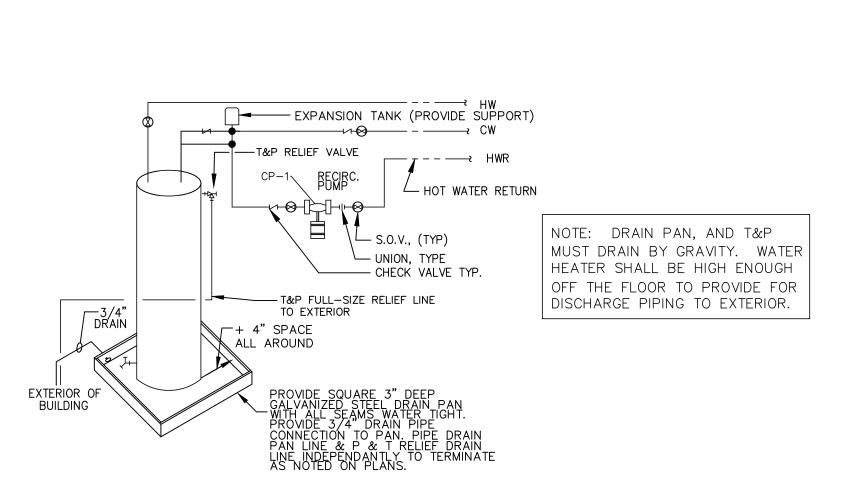
ROOF 1 BATH

FOUNDATION HASE TWO - 1 BDRM SHEET NO:

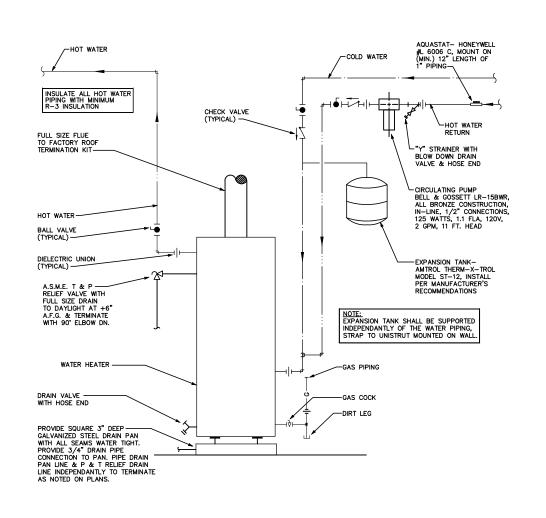
A - 7.0



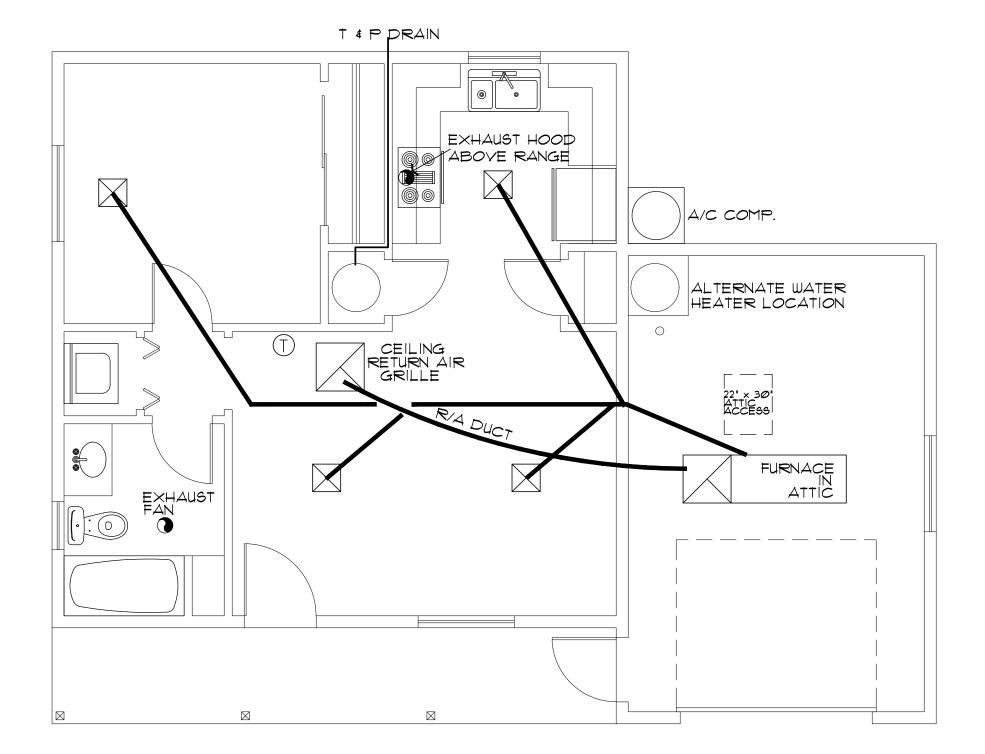
HVAC PLAN (with furnace above habitable area)



PROVIDE ACCESSABLE ELECTRICAL DISCONNECT **ELECTRIC WATER HEATER**



GAS WATER HEATER OPTION



HVAC PLAN (with furnace above Garage / Carport)

(T) THERMOSTAT

HVAC/PLUMBING GENERAL NOTES:

1. THE MECHANICAL CONTRACTOR SHALL DETERMINE THE FINAL EQUIPMENT SIZING, DUCT SIZING, AND DUCT LAYOUT PRIOR TO INSTALLATION. 2. DRAIN AND VENT SIZES TO BE DETERMINED BY PLUMBING CONTRACTOR.

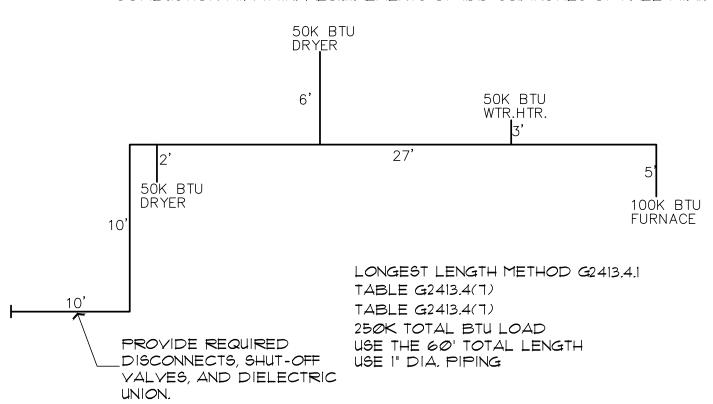
3. WATER HEATER RELIEF VALVE SHALL EXTEND OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2' NOR LESS THAN 6" ABOVE THE GROUND AND POINTING DOWNWARD.

4. PROVIDE A PAN, AND DRAIN FOR THE WATER HEATER.

5. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING. IT SHALL NOT EXCEED 25' IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE.

THE DISTANCE AND PIPE SIZE FROM THE SOURCE, TO THE RESIDENCE, AND THE TYPE OF FUEL (NATURAL GAS OR PROPANE).

1. BI-FOLD DOOR AT WATER HEATER CLOSET SHALL BE LOUVERED FOR COMBUSTION AIR (MIN. REQUIREMENTS OF 100 SQ. INCHES OF FREE AIR).



GAS PIPING ISOMETRIC

NO SCALE

NOTE: USE 1" DIA. PIPING FOR ALL FLOOR PLAN LAYOUTS, INCLUDING. ALTERNATE FIXTURE LOCATIONS. THE PLUMBING CONTRACTOR SHALL SHALL VERIFY ALL SIZING, AND FITTINGS, PRIOR TO INSTALLATION.

Drawn by: Chk'd by: MFR Scale : AS NOTED Revisions:

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HVAC DULE / 1 BATH

ELECTRICAL / SYMBOL SCHI TWO - 1 BDRM

SHEET NO:

M-1.0

ELECTRICAL SYMBOLS

+ WALL MOUNTED LIGHT FIXTURE

- DAMP-PROOF CEILING MOUNTED LIGHT FIXTURE

-CEILING MOUNTED LIGHT FIXTURE

- PENDANT LIGHT FIXTURE

1' imes 4' SURFACE MTD. FLUORESCENT FIXTURE

- RECESSED CAN FIXTURE

- 110v. DUPLEX CONVENIENCE OUTLET MOUNTED 12" A.F.F., OR AS NOTED

- 110v. 4-PLEX CONVENIENCE OUTLET MOUNTED 12" A.F.F., OR AS NOTED

-GROUND-FAULT INTERRUPT

-WEATHER-PROOF GROUND-FAULT INTERRUPT - 220V RECEPTACLE

- SINGLE POLE SWITCH MOUNTED

AT 48" OR AS NOTED -3-WAY SINGLE POLE SWITCH MOUNTED

AT 48" OR AS NOTED

- CEILING EXHAUST FAN

- SMOKE DETECTOR

- SMOKE DETECTOR / CARBON MONOXIDE COMBO

-CABLE TY OUTLET

— CEILING FAN W/ LIGHT KIT

- DOORBELL BUTTON TELEPHONE OUTLET

ENERGY NOTES:

1. WINDOWS DOOR & SKYLIGHTS

*FENESTRATION U-FACTOR WINDOW AND DOORS TO BE .40 STICKER SHALL REMAIN ON WINDOWS, SKYLIGHTS & DOORS UNTIL INSPECTED AND APPROVED FOR THE ABOVE REQUIREMENT. THE FOUNDATION SLAB INSULATION MAY BE ELIMINATED IF USING A MAX. 0.32 U-FACTOR ON GLAZING.

2. CEILINGS

* CEILING INSULATION TO BE MIN. R-30 (ZONE 2)± R-38 (ZONE 4) MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOIST AND MARKED WITH THE MIN. ISTALLED THICKNESS BY ONE INCH HIGH NUMBERS. A MIN. OF ONE MARKER SHALL BE INSTALLED FOR EVERY 300 SQ. FT. OF AREA WITH NUMBERS TO FACE THE ATTIC ACCESS OPENING. MARKERS MUST BE INSTALLED AT ROUGH IN OR WALL INSULATION INSPECTIONS.

3. WOOD FRAMED EXTERIOR WALLS (MIN. R-19 FOR 2 X 6 WALLS) * WALL INSULATION SHALL BE IN SUBSTANTIAL CONTACT WITH THE SURFACE BEING INSULATED TO AVOID AIR PATHS THAT

BYPASS THE INSULATION. * INSULATION SHALL NOT BE COMPRESSED BY INSET STAPLING OF THE BATT INSULATION OR OTHER MEANS * INSULATION SHALL FILL ALL CAVATIES COMPLETLY BY CUTTING INSULATION AROUND ELECTRCAL OUTLETS AND SWITCHES AND BY SLICING INSULATION TO FIT BEHIND AND IN FRONT OF

ELECTRICAL WIRING IN THE CAVITY AND PLUMBING PIPING * BAND JOISTS AND OTHER INTERSTITIAL FLOOR ELEMENTS OF THE WALL SHALL BE INSULATED

4. NOT USED.

5. BUILDING THERMAL ENVELOPE

THE SEALING METHODS BETWEEN DISSIMILAR MATERAILS SHALL ALLOW FOR DIFFERENTAIL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

ELECTRICAL GENERAL NOTES

- 1. ALL WORKMANSHIP, MATERIALS, AND METHODS SHALL CONFORM TO N.E.C.- 2017 EDITION.
- 2. ALL HABITABLE ROOMS SHALL BE PROVIDED W/ ELECTRICAL OUTLETS SO THAT NO PART OF THE WALL IS MORE THAN 6' FROM AN OUTLET. WALL SECTIONS 2' OR LARGER & KITCHEN COUNTERS WIDER THAN 12" SHALL BE SERVICED BY A RECEPTACLE.
- 3. ALL RECEPTICALS IN BATHROOMS, OUTSIDE & WITHIN 6' OF WATER SOURCE SHALL BE G.F.C.I.

NEW AUDIBLE SYSTEM INSIDE EXISTING RESIDENCE.

- 4. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED ON SEPARATE CIRCUIT & SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING & SHALL HAVE BATTERY BACKUP. CONNECT NEW SMOKE DETECTORS TO
- 5. LIGHTS IN CLOSETS SHALL BE 18" FROM SHELVING (MEASURED HORZTL. OR BE RECESSED.
- 6. PROVIDE MINIMUM TWO 20A BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, EATING AREA, A SEPARATE 2014 BRANCH CIRCUIT TO THE LAUNDRY EQUIP., AND A SEPARATE 20A BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- 7. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15 & 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY COMBINATION TYPE ARC FAULT CURCUIT INTERUPTERS INSTALLED TO PROVIDE PROTECTION OF THE
- 8. FIXTURES, FITTINGS, BOXES AND RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL BE 'LISTED' TO BE SUITABLE FOR SUCH CONDITIONS.
- 9. CONTRACTOR TO EMBED 20' OF #4 AWG COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND, PROVIDE BONDING TO THE INTERIOR WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEM.
- 10. IN KITCHEN AND DINING ROOMS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12" OR WIDER SO THAT AT NO POINT ALONG THE WALL 15 MORE THAN 24" FROM A RECEPTACLE OUTLET AND SHALL BE GFCI PROTECTED.
- 1. PROVIDE AT LEAST ONE WEATHER PROOF RECEPTACLE OUTLET NOT MORE THAN 6'-6" ABOVE GRADE AND GFC! PROTECTED.

 AT THE FRONT AND BACK OF EACH DWELLING, ALL RECEPTACLES INSTALLED OUTDOORS MUST BE GFC! PROTECTED.
- 12. ALL EXTERIOR LIGHTING SHALL CONFORM TO YAVAPAI COUNTY DARK SKY ORDINANCE.
- 13. IN ATTICS, A SERVICE OUTLET & LIGHTING FIXTURE LOCATED NEAR THE APPLIANCE REQUIRING SERVICE SHALL BE CONTROLLED BY A SWITCH AT THE ENTRY OF THE ATTIC. (REQUIRED FOR ATTIC MOUNT FURNACES)

A. ALL JOINTS, SEAMS AND PENETRATIONS B. SITE BUILT WINDOWS, DOORS AND SKYLIGHTS C. OPENINGS BETWEEN WINDO AND DOOR ASSEMBLIES AND

- THEIR RESPECTIVE JAMBS AND FRAMING. D. UTILITY PENETRATIONS,
- E. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE. F. KNEE WALLS
- G. WALLS AND CEILINGS SEPERATING GARAGE FROM CONDITIONED SPACES.
- H. BEHIND TUB AND SHOWERS ON EXTERIOR WALLS I. COMMEN WALLS BETWEEN DWELLING UNITS J. OTHER SOURCES OF INFILTRATION.

6. FENESTRATION AIR LEAKAGE

* WINDOW, SKYLIGHT AND SLIDING GLASS DOOR SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SINGING DOORS NO MORE THAN 0.5 CFM SPECIFICATIONS SHALL BE LISTED ON THE MANUF. LABEL. (USE TYVEK HOUSE WRAP, INSTALL PER MANUF. SPECS)

1. RECESSED LIGHTING

RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENEVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES BY

- A. IC RATED AND LABELED WITH ENCLOSURES THAT ARE SEALED OR GASKETED TO PREVENT AIR LEAKAGE TO CEILING CAVITY OR UNCONDITIONED SPACE + OR B. IC RATED AND LABELED AS MEETING ASTM E 283± OR
- C. LOCATED INSIDE AIRTIGHT SEALED BOX WITH CLEARANCES OF AT LEAST Ø.5 INCH FROM COMBUSTIBLE MATERIAL AND 3 INCHEDS FROM INSULATION.

8. HEAT PUMP SUPPLEMENTARY HEAT

* HEAT PUMPS HAYING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST PREVENT SUPPLEMENTAL HEAT OPERATION WHTN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

* AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING & COOLING SYSTEM.

- * SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MIN. THERMAL ENVELOPE.)
- * ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES (NOT FOR AIR SUPPLY) USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION
- 12. MECHANICAL SYSTEM PIPING INSULATION ABOVE 105 D. F OR BELOW 55 D. F SHALL BE INSULATED TO

13. CIRCULATING HOT WATER SYSTEMS

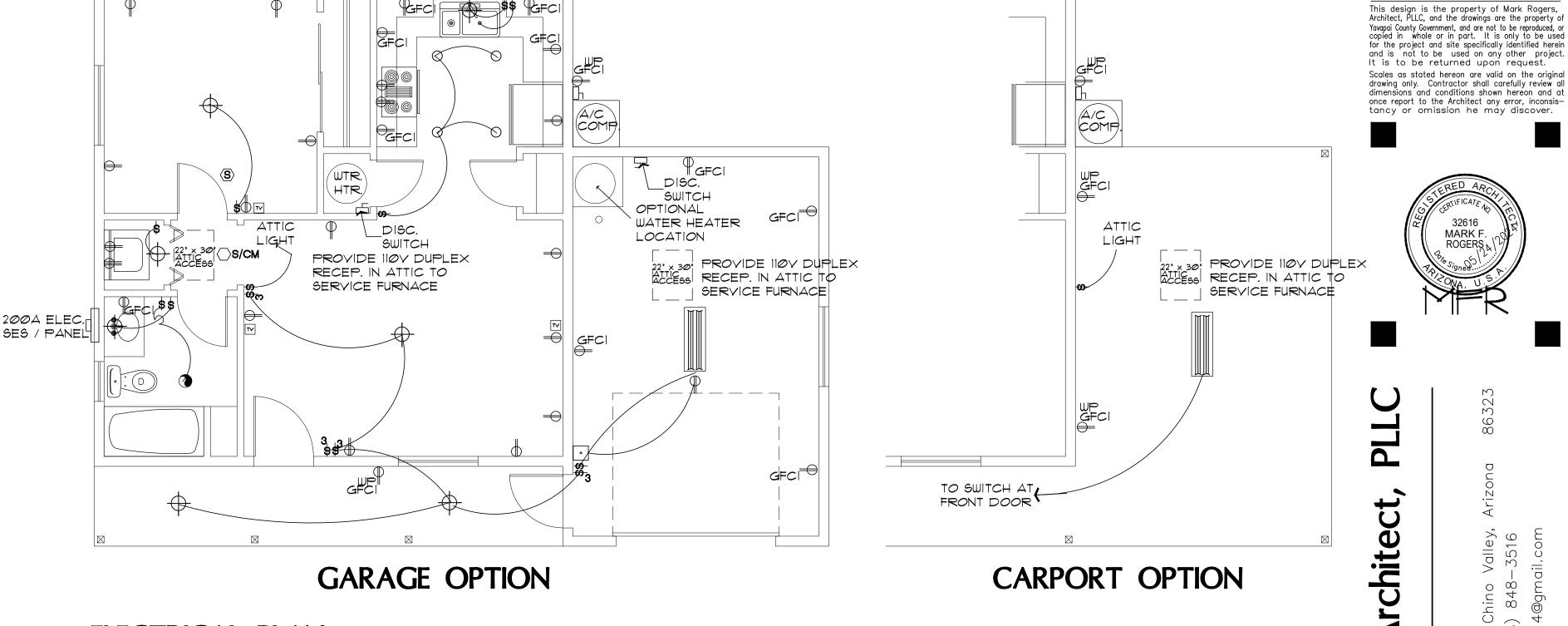
- * ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. ALL NEW RESIDENCES WITH 2 OR MORE BATHROOMS SHALL HAVE A

14. MECHANICAL VENTIALTION

- *OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- 15. EQUIPTMENT SIZING
- *HEATING & COOLING EQUIPTMENT SHALL BE SIZED IN ACCORDANCE

16. AIR LEAKAGE

- AIR FLOW RETARDERS (HOUSE WRAPS) MUST BE: A. IMPERMEABLE TO AIR FLOW.
- B. CONTINOUS OVER THE ENTIRE BUILDING ENVELOPE
- ON IT DURING AND AFTER CONSTRUCTION.
- D. DURABLE OVER THE EXPECTED LIFETIME OF THE BUILDING. E. ALL SEAMS AND EDGES MUST BE SEALED/TAPED PER MANUF SPECIFICATIONS



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

OF R-8 (EXCEPT DUCTS THAT COMPLETLY INSIDE THE BUILDING

- * MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS A MIN. OF R-2

CIRCULATING HOT WATER SYSTEM. CHWS SHALL INCLUDE AN

AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HWCP WHEN THE SYSTEM IS NOT IN USE. THERMAL SIPHONING SYSTEMS SHALL HAVE A VALVE TO REDUCE FLOW. ALTERNATE SYSTEM SHALL BE CONSIDERED.

- WITH SECTION M1401.3 OF THE IRC.

- C. ABLE TO WITHSTAND THE FORCES THAT MAY ACT

NOTES RIGHT ₹<u>₽</u> ECTRIC L SCH BDRM <u>Ř</u> S SHEET NO:

Date

Scale Revisions:

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Chk'd by:

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