

2018  
IRC - IBC

2006  
IECC

CALL TWO WORKING DAYS BEFORE YOU DIG  
1-800-STAKE-IT (1-800-782-5348)  
YAVAPAI COUNTY

2018 IRC R311.3 There shall be a floor or landing on each side of the exterior door. The width of the landing shall not be less than the door served with a minimum distance of 36" measured in the direction traveled.

The inspector may require further clarification on stamped plans. This may include, but not limited to a special inspection and /or a cross section detail stamped and signed by the Designer/Architect/Engineer of record.



*PARCEL:	
*OWNER/APPLICANT:	
PERMIT #:	
PROJECT:	HOME OF MY OWN - 1 BED RIGHT (2024 PLANS)

\* Information required to be filled out by the applicant.

**CAUTION**  
Yavapai County permitted building plans do not relieve the Owners or General Contractor from their responsibilities to conform to all adopted building codes. Every effort has been made to provide a thorough plan review, however plans may contain irregularities. If plans do not contain the proper information or details the Owner/General Contractor Shall Not proceed with the project until the issue has been resolved through Yavapai County and any professional involved in the project

Per 2018 IRCR309.1, R309.2, and IBC 406.3.3: Garage/ carport surfaces used for parking of vehicles shall be sloped to drain liquids to the main vehicle entry doorway or an approved drain

Effective April 20, 2006,  
Fully shielded fixtures are required for all exterior lamps

The mechanical equipment, design and system have been reviewed for the basic design ONLY. The HVAC contractor shall review the plans/ calculations to assure the design is adequate and complies with all applicable codes and installation

Yavapai County Ordinance, Section 112.6  
**Drainage across Property Lines.**  
Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be prevented by installation of non-erosive down-drains or other devices.

THE ENGINEERED  
GEOTECHNICAL REPORT IS A  
PART OF THE PERMITTED  
DOCUMENTS, AND SHALL BE  
ONSITE AT ALL TIMES WITH THE  
PERMITTED PLANS.

Per Article 210.12 of the  
2017 NEC

Arc fault circuit interupters  
are required

THE GAS PIPING INSTALLER SHALL  
VERIFY THE SYSTEM IS OF SUCH SIZE  
FOR THE MAXIMUM DEMAND AND TO  
MEET EACH APPLIANCE INLET AT NOT  
LESS THAN THE MINIMUM SUPPLY  
PRESSURE REQUIRED

THIRD PARTY SPECIAL INSPECTIONS REQUIRED:  
(Third party special inspections are not in lieu of required building inspections.)

YES



The following items require special inspections:

- SOILS CONDITION
- SOILS COMPACTION
- BOTTOM OF FOOTING COMPACTION
- AND OTHER INSPECTIONS REQUIRED BY THE GEOTECHNICAL ENGINEER.

Reports to be supplied to the Building Inspector

It is imperative that the owner /contractor print ALL permit documents from the online portal before inspection.

**CAUTION:**  
Areas within Yavapai County are likely to have expansive, compressible, shifting or other unknown soils conditions. The building official may require a soils test to determine the soils characteristic at a particular location.

Applicant acknowledges that plans stamped by a registrant will not be fully reviewed by staff and that approvals are contingent upon favorable field inspections. Should conditions in the field prove non-conductive to code requirements, significant delays may be realized. Applicant attests that the sealed plans are in compliance with all applicable codes and ordinances

A separate permit for alternative electric source is required. The alternative electric source permit will need to be issued and finalized before a building final can be obtained

Foam spray shall comply with the ES Reports and applicable codes. It is the responsibility of the owner and/or contractor(s) to review reports and understand requirements before application. Ignition/thermal barrier is required unless otherwise exempt. Failure to comply may cause additional cost to the owner/contractor(s).

**GENERAL GRADING NOTES:**  
Where the lot line walls, slopes, or other physical barriers prohibit 6" of fall within 10', drains or swales shall be provided to insure drainage away from the structure.  
**MAINTAIN MINIMUM 2:1 SLOPE**  
The faces of cut and fill slopes shall be prepared and maintained to control against erosion. The protection for the slopes shall be installed as soon as practicable and prior to requesting final approval.  
**NO GRADING WITHIN 2' OF PROPERTY LINES**



The property owner shall be responsible to verify fire sprinkler requirements with the governing fire district

Provide at least one window or exterior door approved for emergency escape or rescue for every room used for sleeping purposes. 2018 IRC R310.1

**IMPORTANT!**  
Footings will not be inspected until the property corners are properly pinned, flagged and easily identifiable to the building inspector.

Interconnected smoke detectors are required for this project per 2018 IRC R314.3.1. Each sleeping room, outside each sleeping room and on each floor level.

APPROVAL IS SUBJECT  
TO FIELD INSPECTION  
AND COMPLIANCE WITH  
ALL RELEVANT CODES,  
LAWS AND ORDINANCES

RAIN GUTTERS & DOWNSPOUTS  
ARE REQUIRED

Positive drainage away from the structure is required. Refer to the geotechnical report for an additional requirements

Reviewed for  
Design Criteria Only

No slab grade or floor framing inspections will be conducted without compaction reports.

Slab insulation shall be approved for the under slab application. Provide an ES Report and manufacturer's specifications if not using the pre-approved products below:  
1. Extruded polystyrene insulation Dow square edge (Blue)  
2. Extruded polystyrene Owen corning Foamular 250 (Pink)

Truss calculations to be on site at the time of frame inspection

Per 2018 YCABC Ordinance  
2014-1 Section 110.3.4:  
Pre-slab inspections are required

BIG  
STAMP



REVIEWED FOR DESIGN  
CRITERIA ONLY

SEE ATTACHED COVER SHEET FOR ALL  
STAMPS. IT IS THE RESPONSIBILITY OF THE  
OWNER/APPLICANT TO REVIEW AND  
ACKNOWLEDGE APPLICABLE STAMPS.

BOARD OF SUPERVISORS

CRAIG BROWN, CHAIRMAN – DISTRICT 4  
DONNA G. MICHAELS, Ph.D., VICE CHAIR – DISTRICT 3  
HARRY B. OBERG, MEMBER – DISTRICT 1  
JAMES GREGORY, MEMBER – DISTRICT 2  
MARY MALLORY, MEMBER – DISTRICT 5

PROPERTY OF YAVAPAI COUNTY, AZ



DEVELOPMENT SERVICES  
JEREMY DYE, DIRECTOR  
MARK LUSSON, ASSISTANT DIRECTOR  
WARREN COLVIN, CHIEF BUILDING OFFICIAL

HOME OF MY OWN  
Phase Two  
Single-Family Housing  
ONE BEDROOM / ONE BATH - RIGHT PARKING  
for

YAVAPAI COUNTY, ARIZONA  
1015 Fair Street  
Prescott, Arizona

INDEX TO DRAWINGS

CS	COVER SHEET W/ PROJECT INFORMATION
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A-2.0	FOUNDATION PLANS
A-3.0	ROOF FRAMING PLANS
A-4.0	BRACE WALL PLANS
A-5.0	EXTERIOR ELEVATIONS
A-6.0	BUILDING SECTIONS
A-7.0	DETAILS
M-1	MECHANICAL
E-1	ELECTRICAL

PROJECT INFORMATION

ALL WORK SHALL CONFORM TO ALL YAVAPAI COUNTY  
ADOPTED CODES, ORDINANCES AND POLICIES,  
INCLUDING BUT NOT LIMITED TO THE FOLLOWING:  
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2018 INTERNATIONAL PLUMBING CODE (IPC)  
2018 INTERNATIONAL MECHANICAL CODE (IMC)  
2017 NATIONAL ELECTRIC CODE (NEC)  
2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

LIVABLE:	576 SQ. FT.
CARPORT/ALT. GARAGE:	257 SQ. FT.
COVERED ENTRY:	96 SQ. FT.
TOTAL UNDER ROOF:	929 SQ. FT.

OPTION WITHOUT GARAGE, OR CARPORT:	
LIVABLE:	576 SQ. FT.
COVERED ENTRY:	96 SQ. FT.
TOTAL UNDER ROOF:	672 SQ. FT.

OCCUPANCY: R-3 (Single-Family Residential)  
CONSTRUCTION TYPE: V-B

THESE HOMES WERE DESIGNED FOR A MAXIMUM ELEVATION OF 6200 FEET  
(40 LB. SNOW LOAD). THEY WERE NOT DESIGNED FOR A TILE ROOF.

GENERAL NOTES

1. DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE. DIMENSIONS ARE NOT TO BE SCALED FROM THE WORKING DRAWINGS.
2. BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK, CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF YAVAPAI COUNTY DEVELOPMENT SERVICES.
3. GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.
4. GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.
5. DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE SAME.
6. VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH, REGULAR FINISH WITH NO IRREGULARITIES.
7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THOROUGHLY REVIEW THE PLANS AND TO NOTIFY YAVAPAI COUNTY DEVELOPMENT SERVICES OF ANY DISCREPANCIES. YAVAPAI COUNTY, NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR MATERIALS IMPROPERLY ORDERED OR INSTALLED.
8. FAILURE BY THE GENERAL CONTRACTOR, OR SUB-CONTRACTORS, TO AQUAINT THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR WORK PROPERLY.
9. APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION BY YAVAPAI COUNTY PERSONNEL.
10. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW, OR DOOR, FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.

Job no. : 1BDRM/1BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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Mark Rogers, Architect, PLLC

761 Highland Circle  
Chino Valley, Arizona 86323  
Phone: (928) 848-3516  
markrogers914@gmail.com

COVER SHEET  
PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

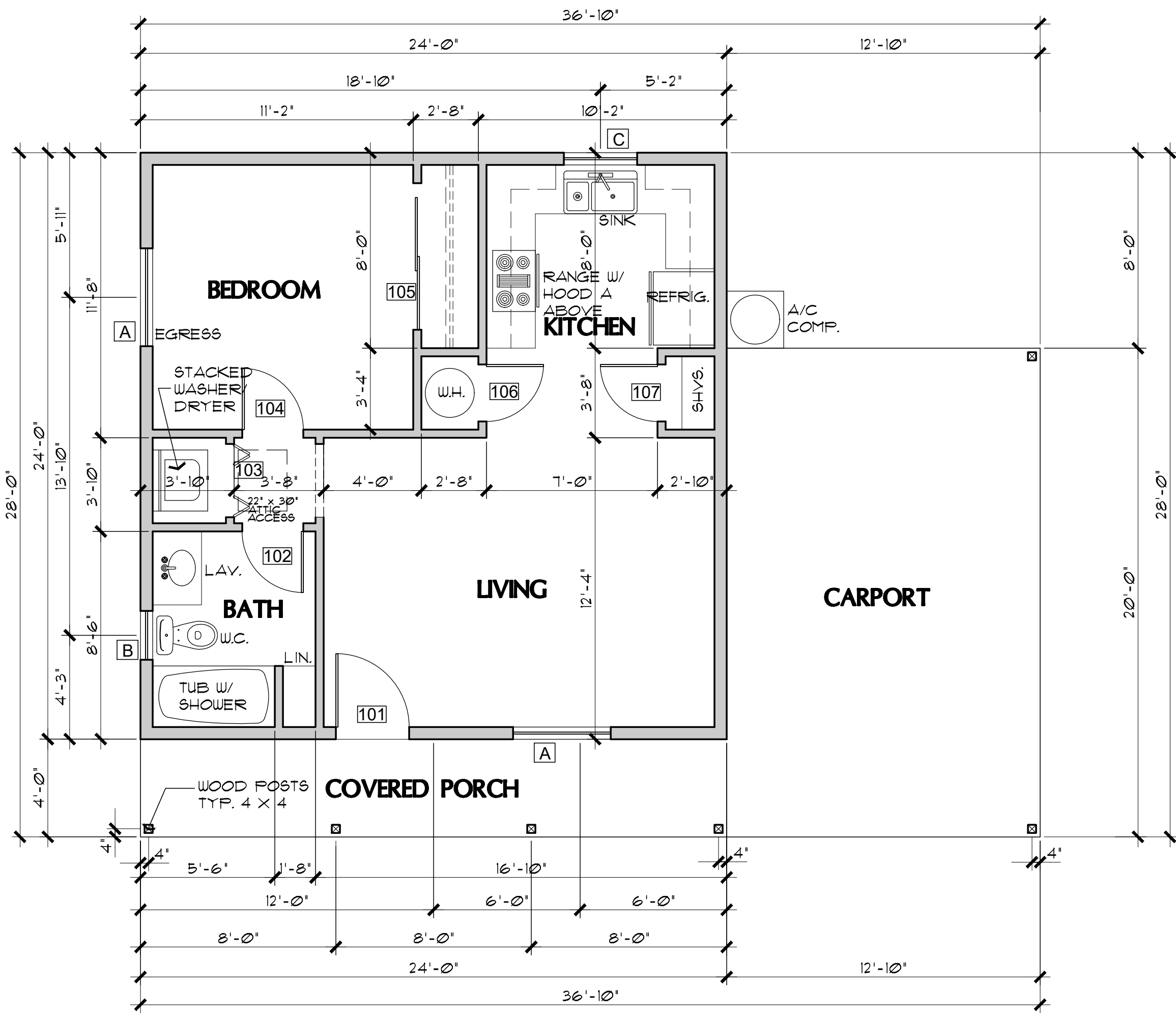
SHEET NO:  
CS

PROPERTY OF YAVAPAI COUNTY, AZ

PROPERTY OF YAVAPAI COUNTY, AZ

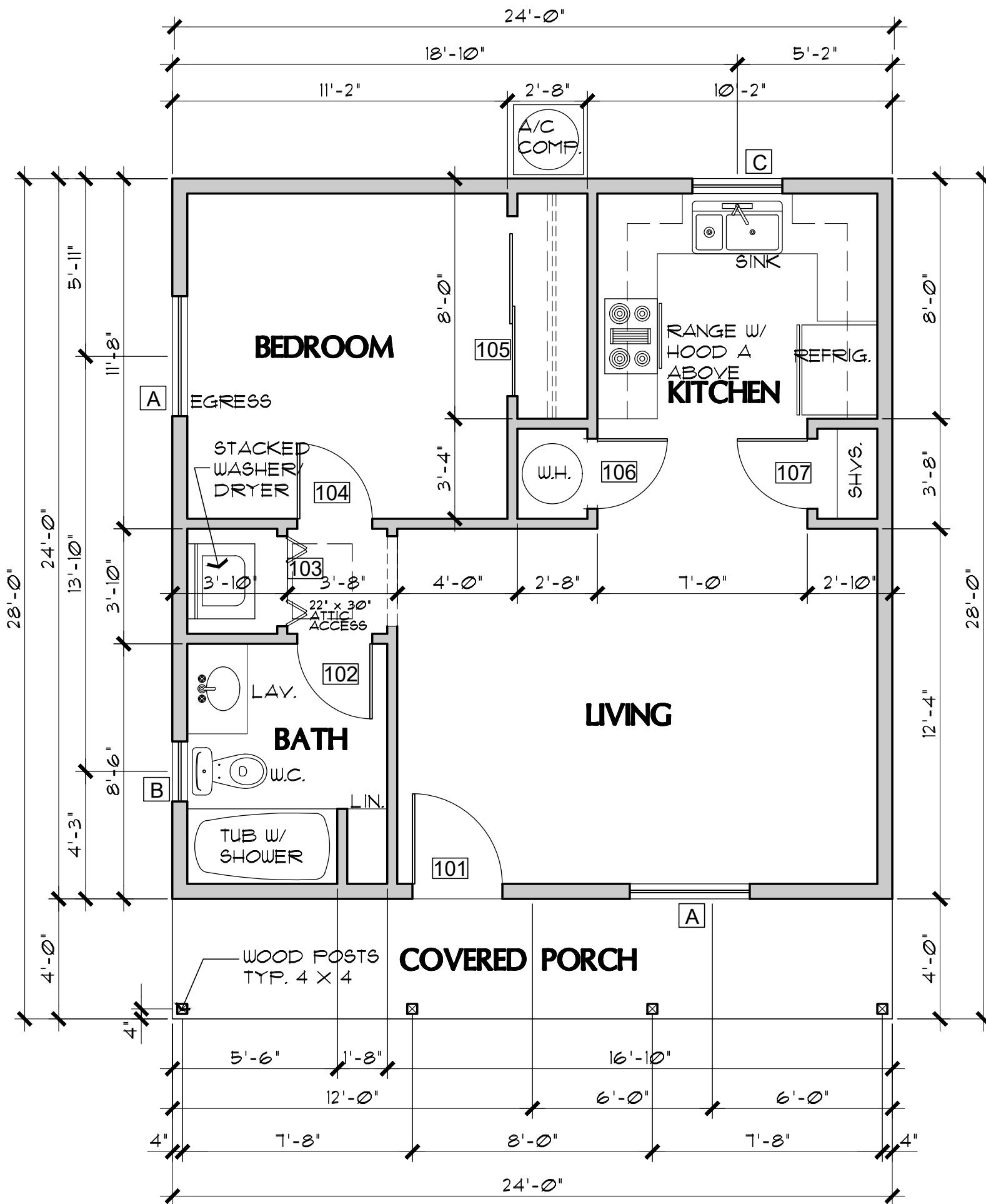
PROPERTY OF YAVAPAI COUNTY, AZ





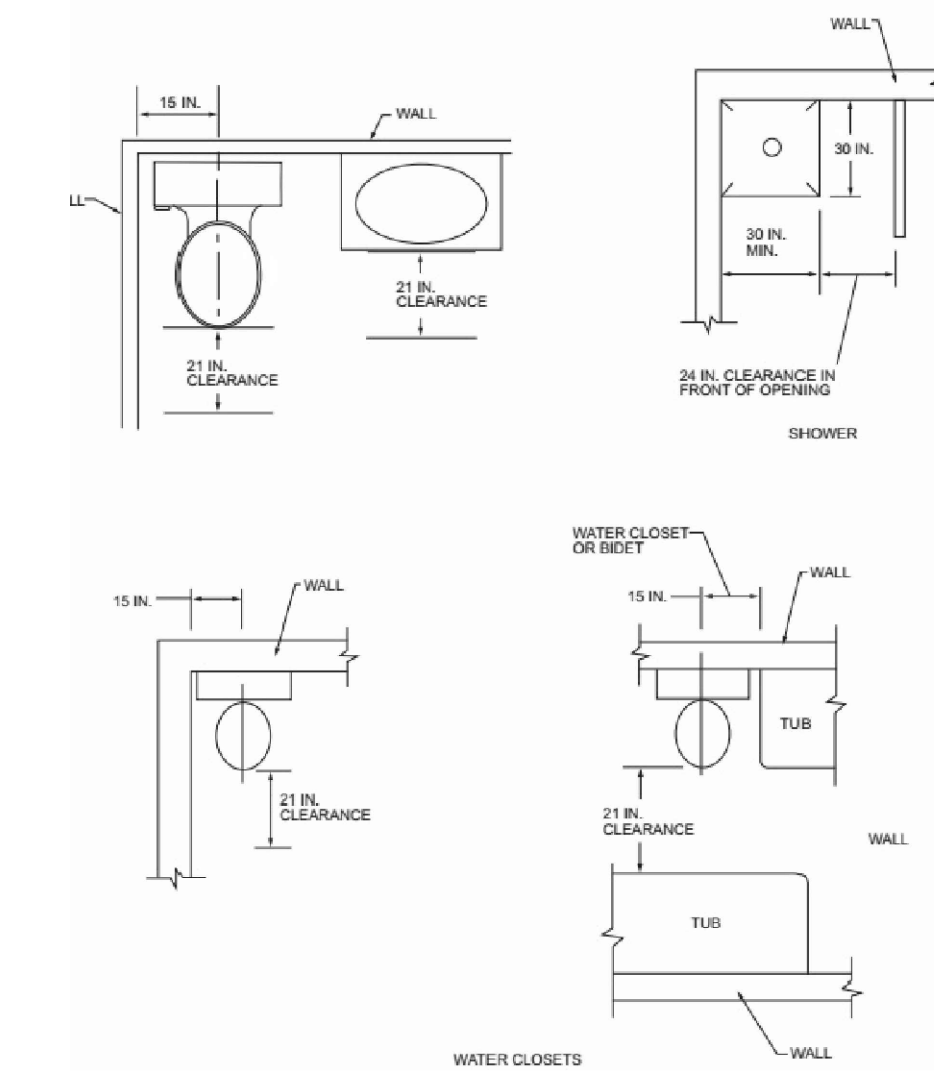
FLOOR PLAN (with Carport option)

SCALE: 1/4" = 1'-0"



FLOOR PLAN (without Garage or Carport)

SCALE: 1/4" = 1'-0"



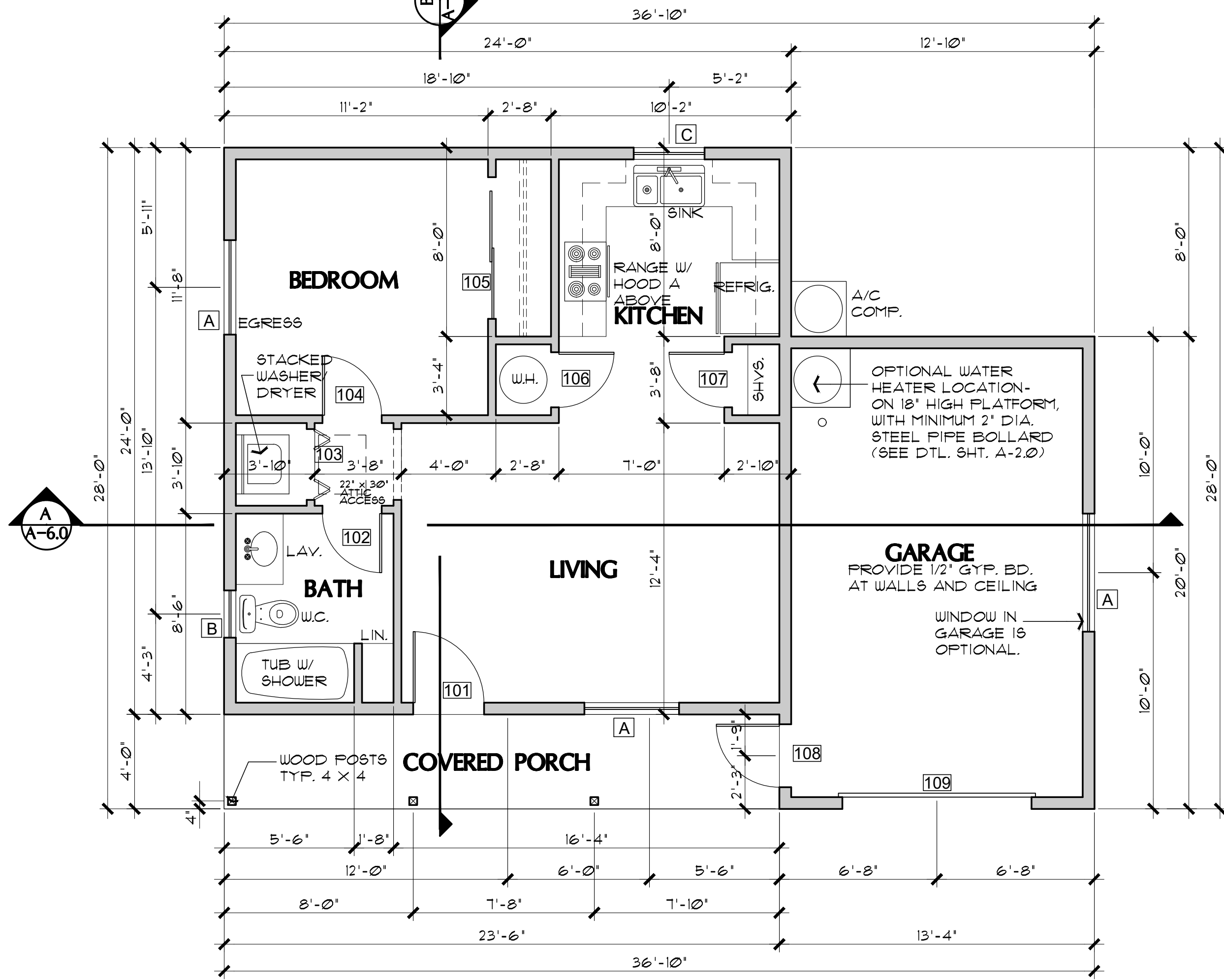
PLUMBING FIXTURE CLEARANCES

NO SCALE

PER IRC FIGURE R307.1

WINDOWS SHALL BE VINYL FRAME  
MAX. U-FACTOR: 0.40  
(OPTION TO ELIMINATE FOUNDATION  
INSULATION IF USING 0.32 OR BELOW  
U-FACTOR)

NOTE: FENESTRATION IN ZONE 2 (ELEVATIONS BELOW 3500 FT.)  
SHALL HAVE A MAXIMUM U-FACTOR OF 0.75, AND A  
MAXIMUM FENESTRATION SHGC FACTOR OF 0.40.  
FENESTRATION IN ZONE 4 (ELEVATIONS 3500 FT. AND ABOVE)  
SHALL HAVE A MAXIMUM U-FACTOR OF 0.40. THE SHGC  
FACTOR IN ZONE 4 IS NOT APPLICABLE.



FLOOR PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

DR. #	SIZE			DOOR TYPE	REMARKS
	W.	H.	T.		
101	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	
102	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
103	3'-0"	6'-8"	1-1/8"	INTERIOR BI-FOLD	
104	2'-8"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
105	6'-0"	6'-8"	1-3/8"	SLIDING BI-PASS	
106	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	IF USING GAS WATER HEATER, PROVIDE 12" X 12" VENTS, ONE AT THE TOP, AND BOTTOM OF DOOR
107	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
108	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	
109	8'-0"	7'-0"	-	OVERHEAD GARAGE DOOR	

WINDOW SCHEDULE (8' plate height)

WIN.	SIZE	TYPE	REMARKS
A	4040	XO	EGRESS AT BEDROOM
B	2030	SINGLE HUNG TEMPERED	
C	3030	XO	

WINDOW SCHEDULE (9' plate height)

WIN.	SIZE	TYPE	REMARKS
A	4050	XO	EGRESS AT BEDROOM MUST HAVE MAX. 44" SILL HEIGHT ABOVE FLOOR
B	2030	SINGLE HUNG TEMPERED	
C	3030	XO	

Job no. : 1BDRM/1BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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FLOOR PLANS /  
OPENING SCHEDULES  
PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

A-10



Mark Rogers, Architect, PLLC

Chino Valley, Arizona 86323  
Phone: (928) 848-3516  
markrogers914@gmail.com

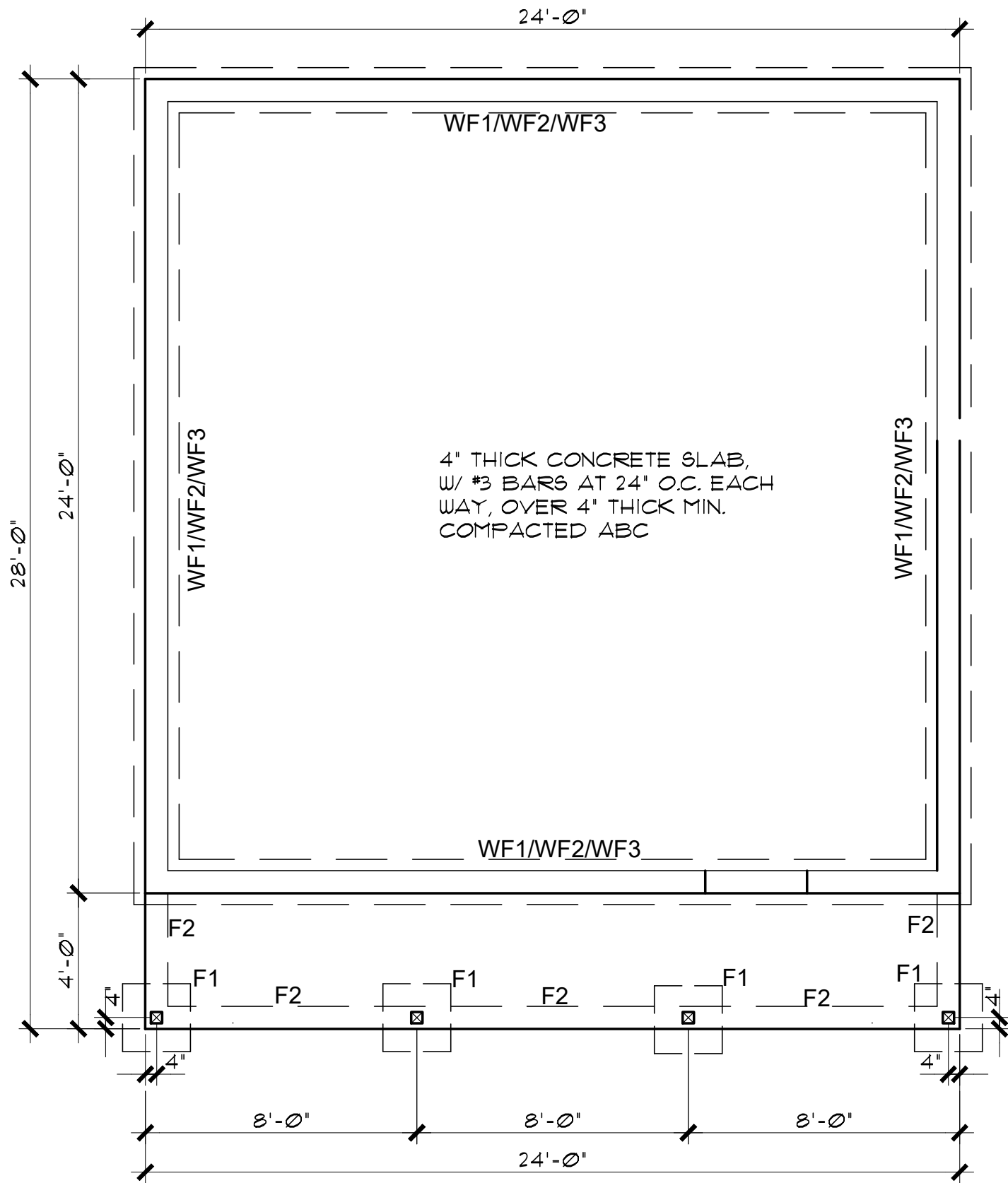
1015 FAIR STREET  
PRESCOTT, ARIZONA

FOUNDATION PLANS / NOTES  
PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

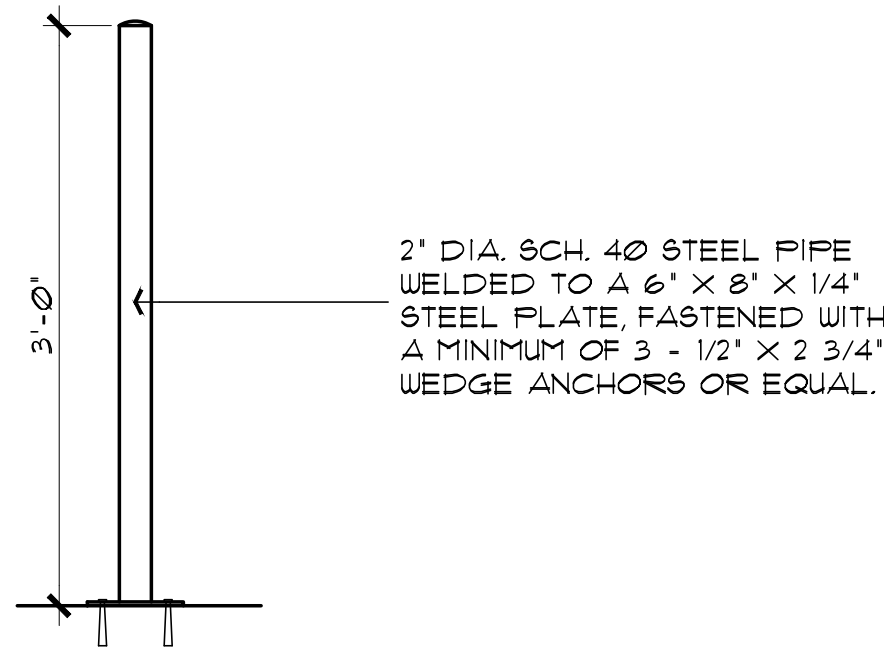
SHEET NO:  
A-2.0

PROPERTY OF YAVAPAI COUNTY, AZ



### FOUNDATION PLAN

SCALE: 1/4" = 1'-0" (without Garage or Carport option)



### BOLLARD DETAIL

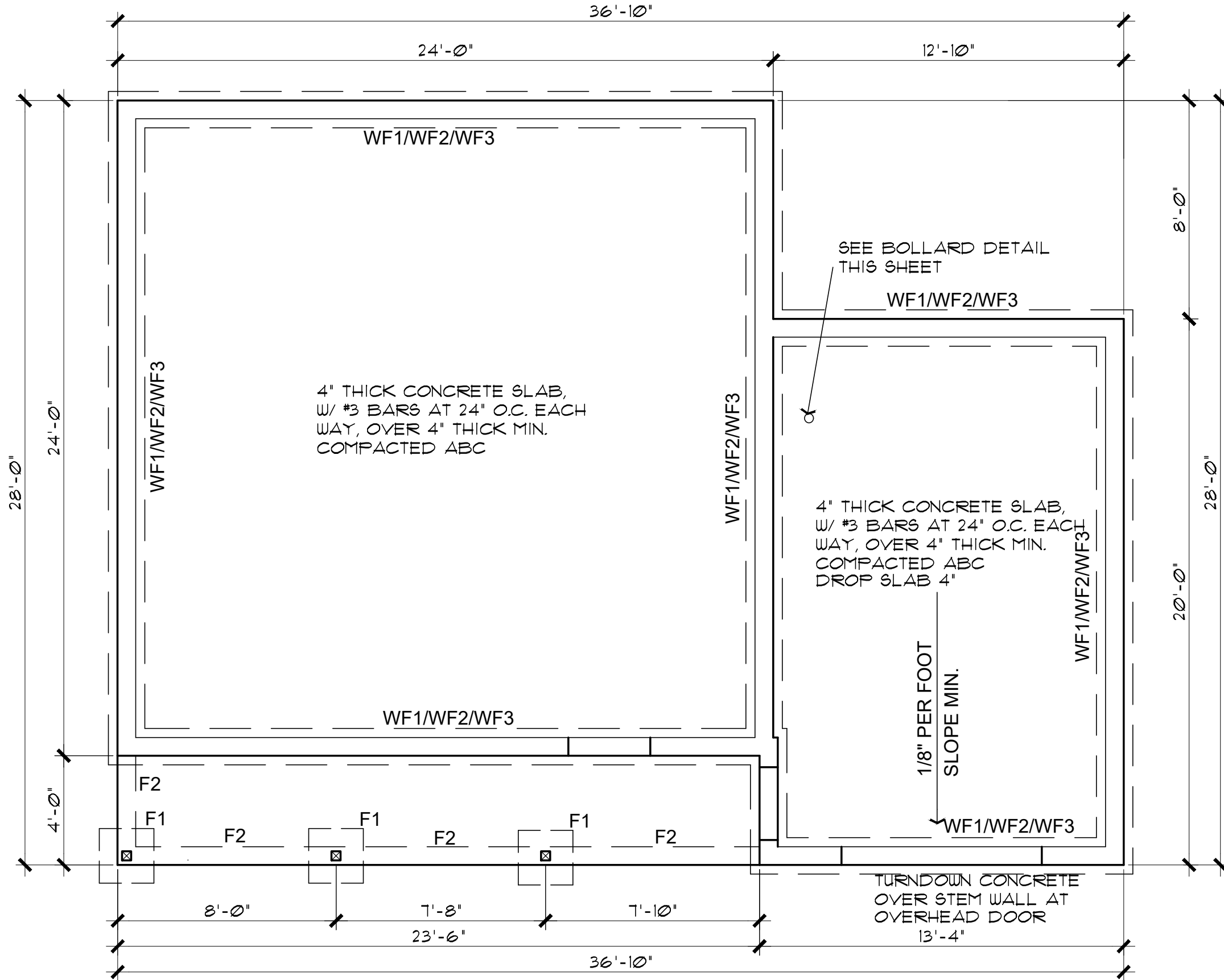
SCALE: 1" = 1'-0"  
THIS DETAIL APPLIES ONLY IF LOCATING  
THE WATER HEATER IN THE GARAGE.

NOTE: THE FOOTINGS SIZE, THICKNESS, AND BOTTOM OF FOOTING DEPTH SHALL BE PER THE GEOTECHNICAL REPORT/ENGINEER'S REQUIREMENTS. THIS SHALL INCLUDE ANY OVER EXCAVATIONS, ENGINEERED PAD REQUIREMENTS, AND/OR A CHANGE IN DEPTH, AND TYPE OF BASE COURSE UNDER THE CONCRETE SLABS.

### SEE FOUNDATION DETAILS SHEET A7.0

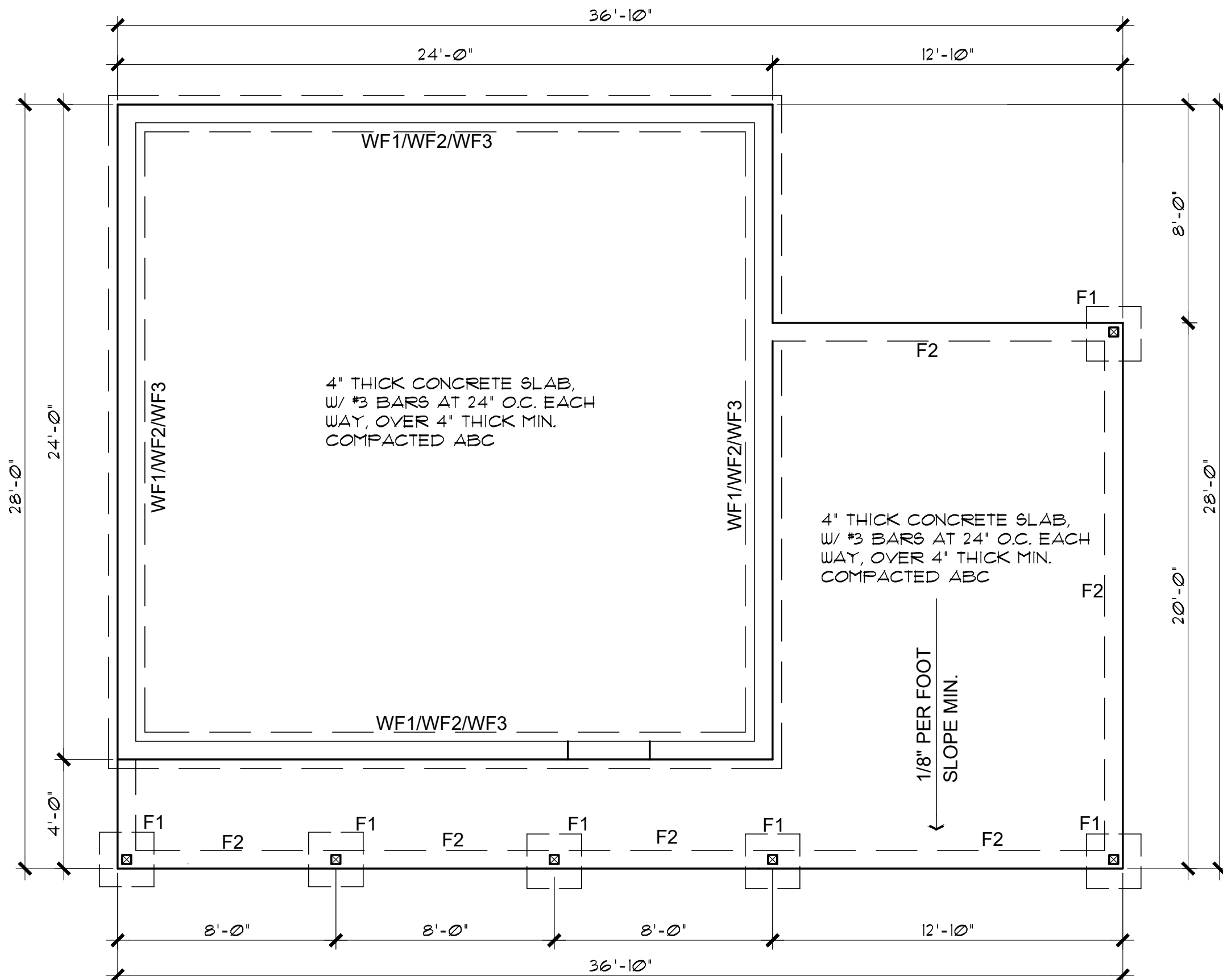
### FOUNDATION NOTES

1. FOOTINGS TO BE A MIN. OF 8" THICK IN 18" MIN. UNDISTURBED SOIL.
2. FOOTINGS AND INTERIOR FLATWORK TO BE MIN. 2500 P.S.I. MIN COMPRESSIVE STRENGTH AT 28 DAYS.
3. FOUNDATION SUPPORTED WOOD TO EXTEND MIN. 6" ABOVE FINISH GRADE
4. FOUNDATION PLATES AND SILLS SHALL BE BOLTED TO FOUNDATION WITH MIN. 1/2" BOLTS 6'-0" O.C., 12" FROM CORNERS AND EMBEDDED 7" INTO FOUNDATION WALL
5. EXTERIOR FLATWORK SLOPE TO BE 1/4" PER FOOT.
6. CONTRACTOR TO EMBED 20' OF #4 G.A. COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND.
7. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
8. ALL EXTERIOR PLATES, LOAD BEARING AND NON LOAD BEARING SHALL BE PRESSURE TREATED, LESS THAN 8" ABOVE GRADE
9. FILL BEING PLACED THAT EXCEEDS 2' WILL REQUIRE A CERTIFIED COMPACTION TEST AND REPORT.



### FOUNDATION PLAN (with Garage option)

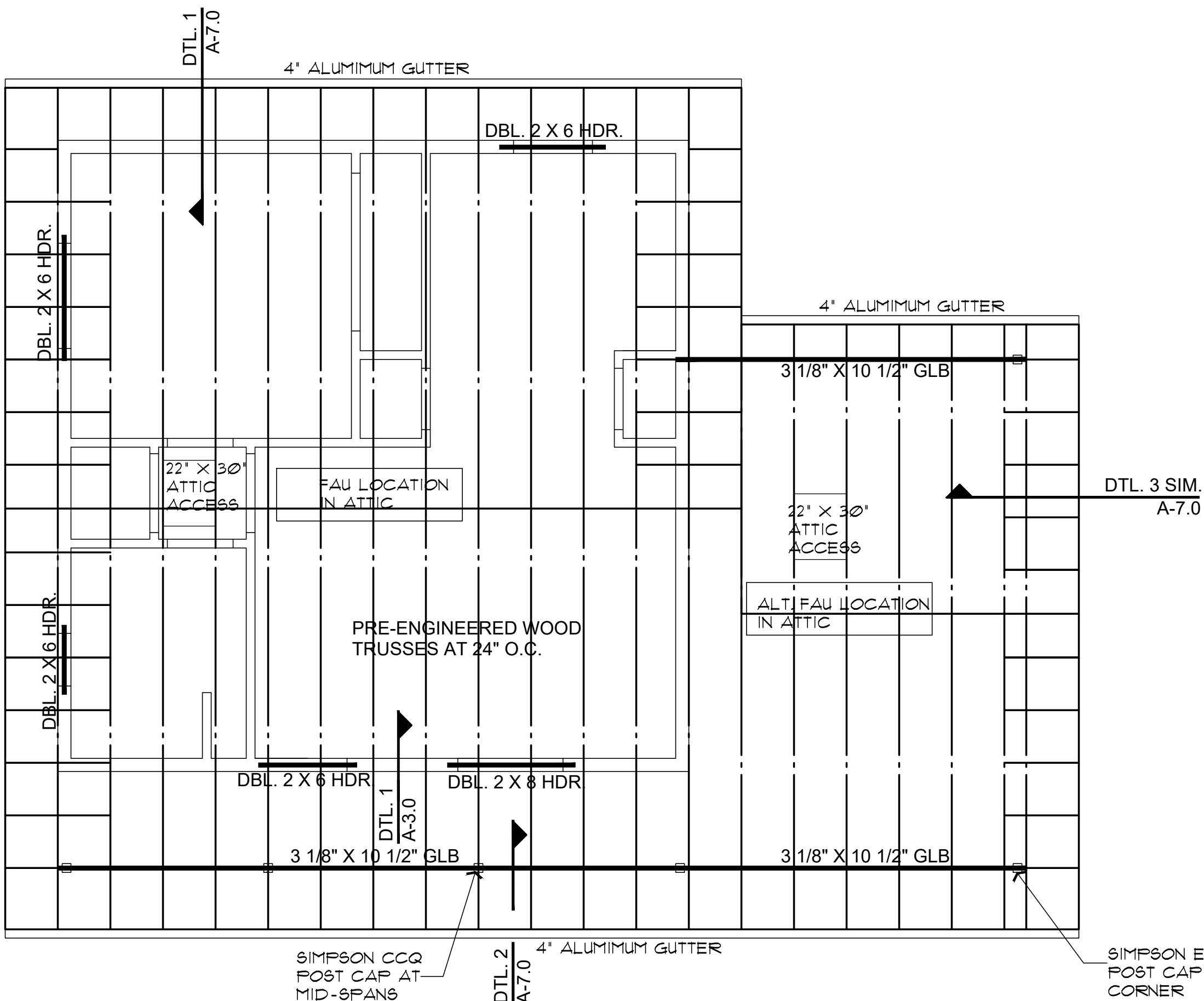
SCALE: 1/4" = 1'-0"



### FOUNDATION PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

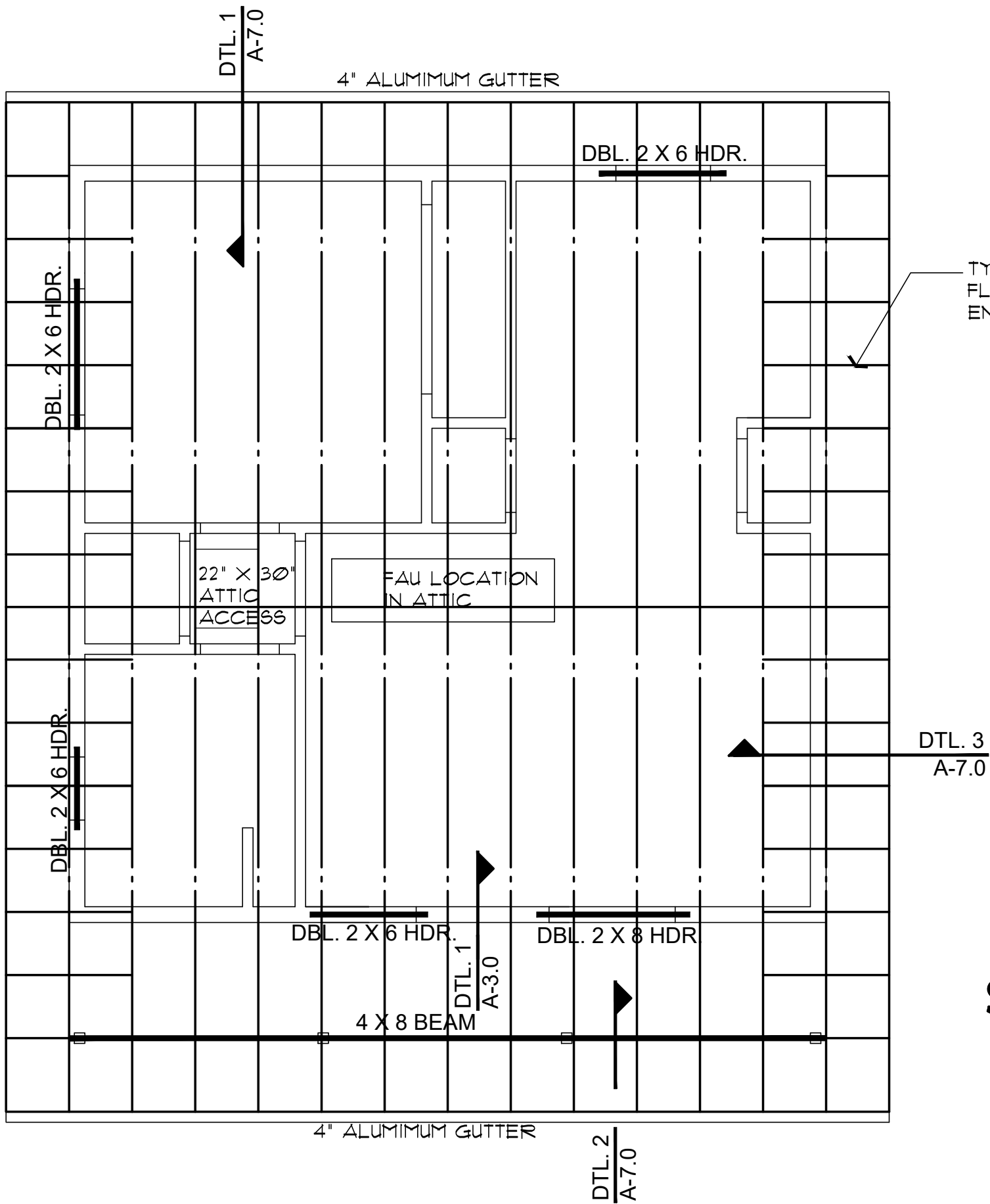




ROOF FRAMING PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION  
REQUIRED 929 SQ. FT. / 3000 = 3 SQ. FT. (432 SQ. IN.)  
USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT  
288 SQ. IN. AT GABLE ENDS  
REMAINING LOW VENTING IN BIRDBLOCKS, 3-HOLE, 2" DIA.  
EACH BLOCK



ROOF FRAMING PLAN (no Garage or Carport)

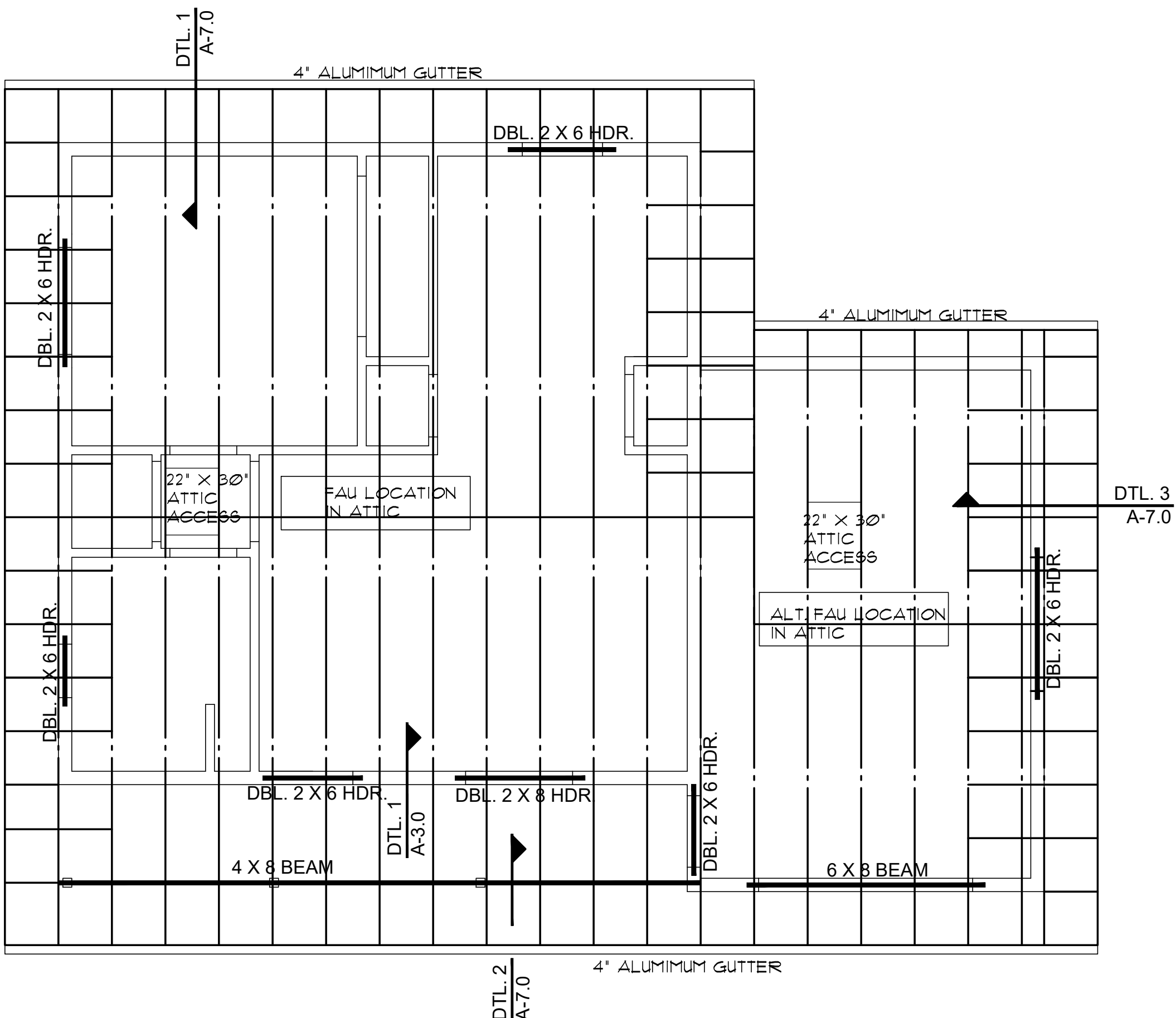
SCALE: 1/4" = 1'-0"

ROOF VENTILATION  
REQUIRED 612 SQ. FT. / 3000 = 2.04 (USE 3 SQ. FT.) (432 SQ. IN.)  
USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT  
288 SQ. IN. AT GABLE ENDS  
REMAINING LOW VENTING IN BIRDBLOCKS, 3-HOLE, 2" DIA.  
EACH BLOCK

ROOF NOTES

1. REFER TO TRUSS CALCULATIONS FOR FINAL ROOF FRAMING DESIGN.
2. SIMPSON'S H25A HANGERS TO BE APPLIED @ ALL TRUSS ENDS
3. ROOF SHEATHING TO BE 1/2" CDX PLYWOOD, OR OSB.
4. SUPPORTED MEMBERS OF G.L.B., 4 GIRDERS OR OTHER CONCENTRATED LOADS SUPPORTED BY WALL OR PIER SHALL HAVE BEARING AT LEAST AS WIDE AS THE ROOF MEMBER.
5. ROOF PITCH 4:12 (TYP.).
6. OVERHANGS TO BE 24".
7. FURNACE IN ATTIC: PROVIDE A 24" SOLID PASSAGEWAY TO CONTROL SIDE OF AFFLIANCE AND A 30" SERVICE SPACE ON THE CONTROL SIDE OF THE AFFLIANCE (REQUIRED FOR ATTIC MOUNT FURNACES).
8. ALL RAFTERS SHALL BE DOUGLAS FIR #2 (SIZE PER PLAN)
9. ALL STUDS SHALL BE HEM FIR #2 (SIZE PER PLAN)

SEE ROOF FRAMING DETAILS SHEET A7.0

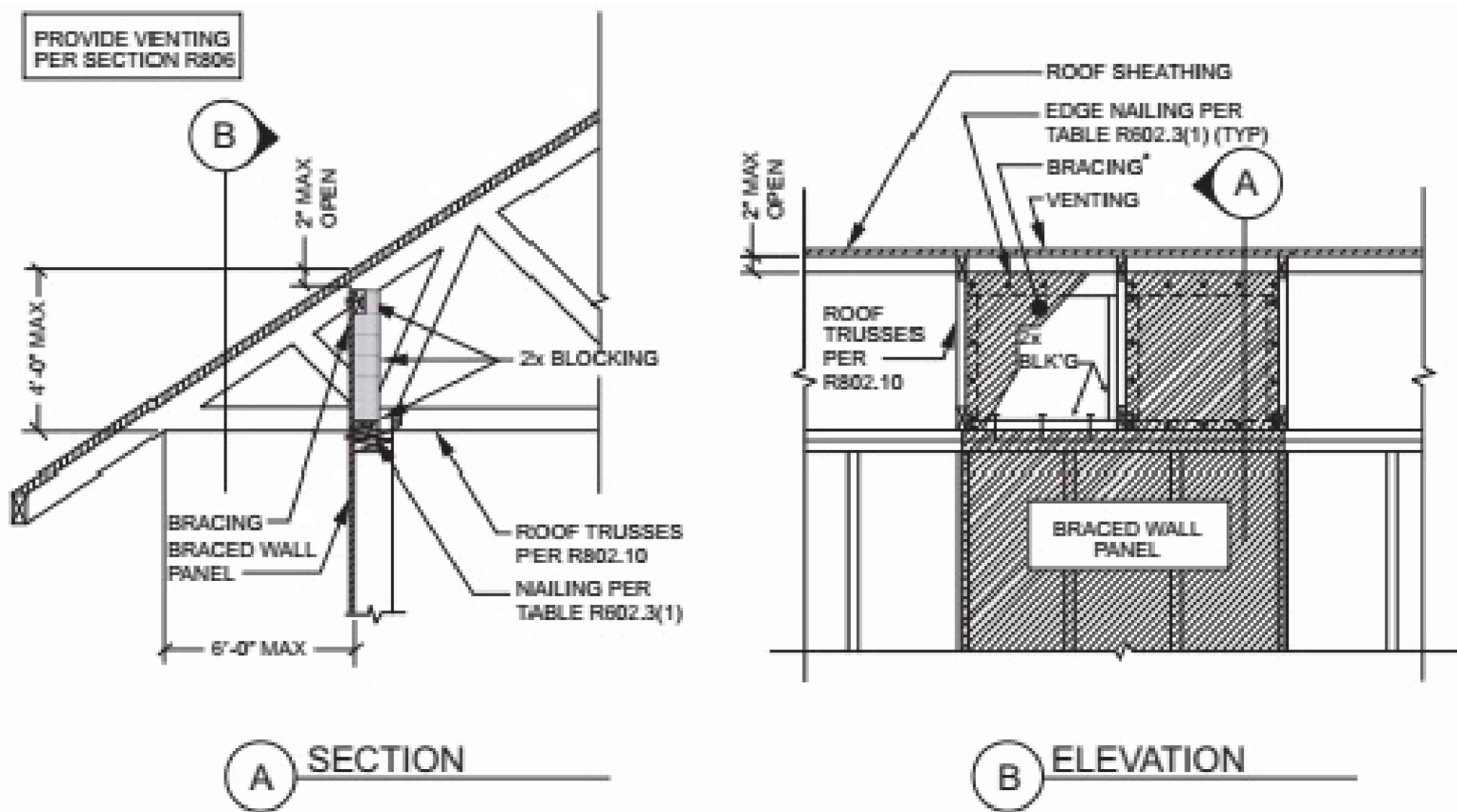


ROOF FRAMING PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION  
REQUIRED 929 SQ. FT. / 3000 = 3 SQ. FT. (432 SQ. IN.)  
USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT  
288 SQ. IN. AT GABLE ENDS  
REMAINING LOW VENTING IN BIRDBLOCKS, 3-HOLE, 2" DIA.  
EACH BLOCK

NOTE: PROVIDE PANEL EDGE SUPPORT FOR  
NARROW-WIDTH ROOF SHEATHING PER  
APA TECHNICAL REPORT #R275A.



1 BRACED WALL PANEL CONNECTION OPTION  
AT PERPENDICULAR ROOF TRUSSES

SCALE: 1 1/2" = 1'-0"

2018 IRC FIGURE R602.10.8.2(3)

Job no. : 1BDRM/1BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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Phone: (928) 848-3516  
markrogers914@gmail.com

ROOF FRAMING PLANS  
PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

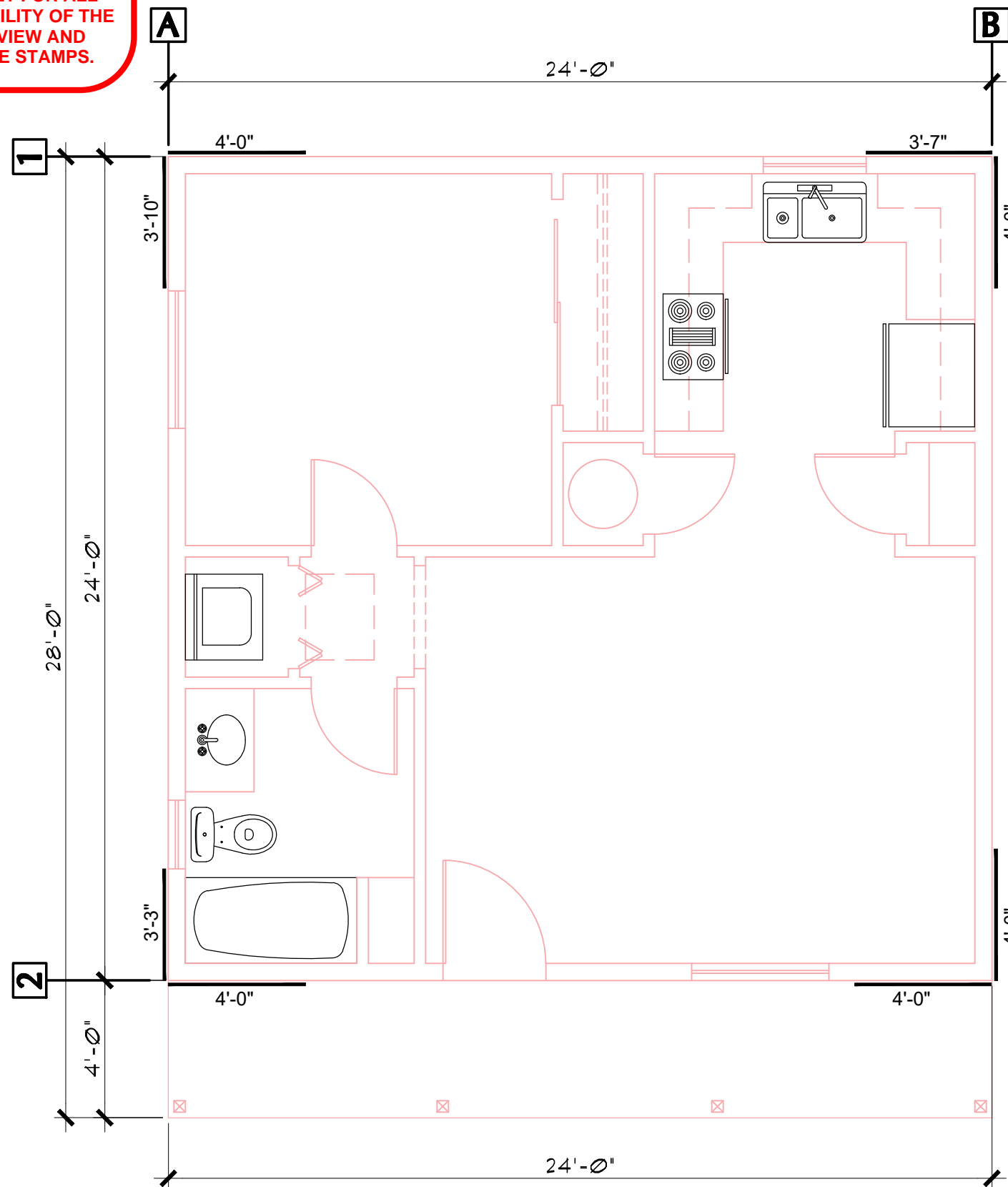
SHEET NO:

A-3.0



REVIEWED FOR DESIGN  
CRITERIA ONLY

SEE ATTACHED COVER SHEET FOR ALL  
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BRACE WALL PLAN (same as with Carport option)

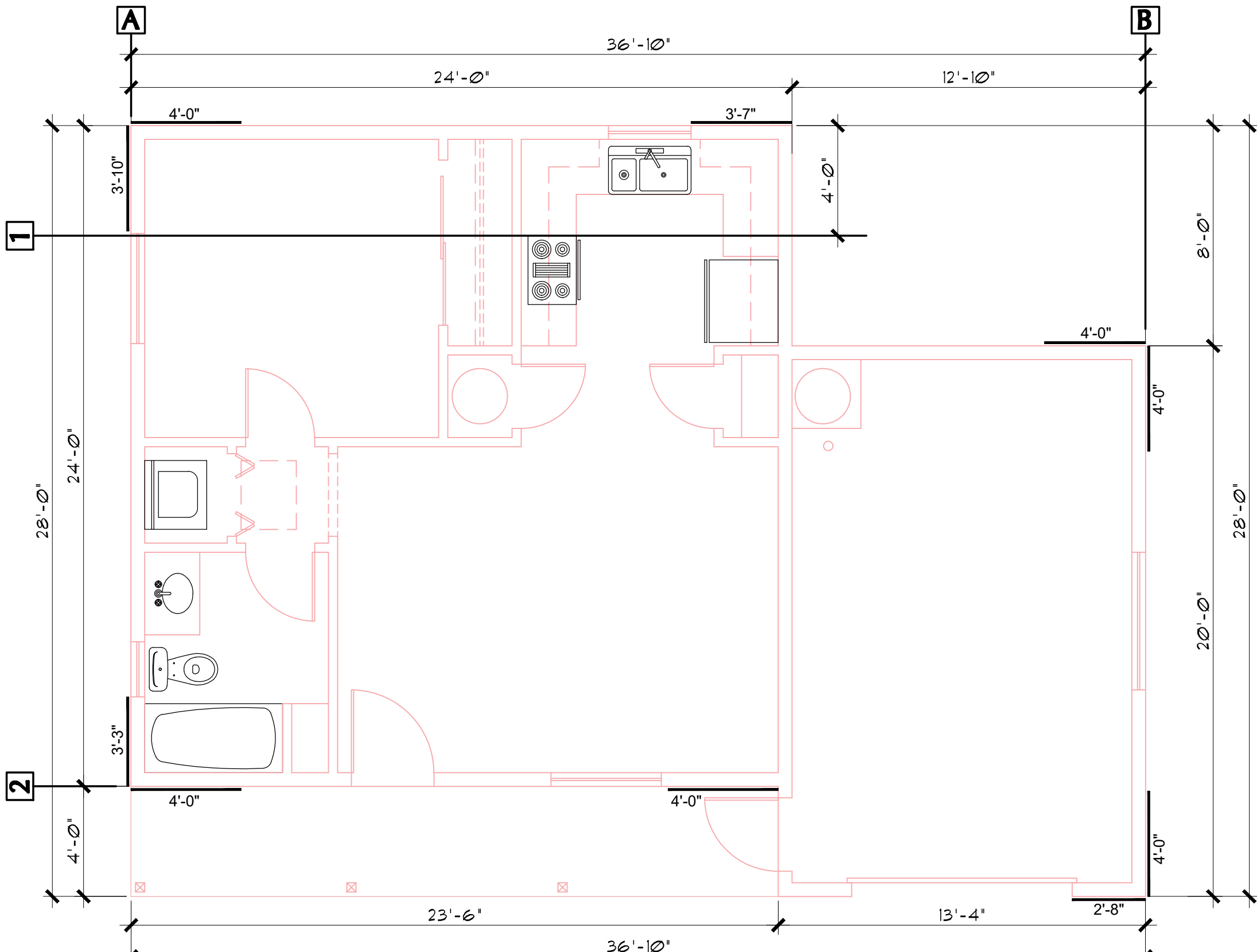
SCALE: 1/4" = 1'-0"

OPTIONS FOR EXTERIOR SIDING-  
OPTION #1:  
5/8" THICK T1-11. SIDING. 12" MINIMUM GROOVE SPACING. THE  
T1-11 MAY SERVE AS THE BRACE WALL PANELS, PROVIDED  
THE CODE REQUIRED NAILING PATTERN IS APPLIED.  
SEE DETAIL #1, A-6.0

OPTION #2:  
MINIMUM 3/8" THICK "LP SMART SIDING". (SEE DTL. #1, A-6.0)

OPTION #3:  
STUCCO OVER WEATHER BARRIER, OVER 1/2" PLYWOOD  
SEE DETAIL #2, A-6.0)

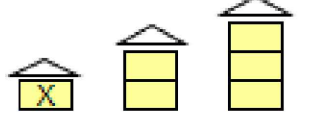
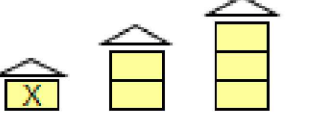
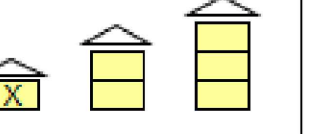
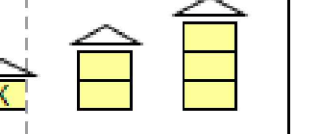
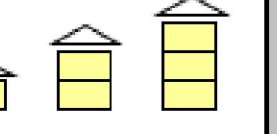
OPTION #4:  
HORIZ. SIDING OVER WEATHER BARRIER, OVER 1/2" PLYWOOD  
SEE DETAIL #3, A-6.0)



FLOOR PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

BRACE WALL CALCS W/O GARAGE

WIND SPEED (MPH)		115		115		115		115		115		
BRACED WALL LINE		1		2		A		B				
STORY												
BRACED WALL PANEL METHOD		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G				
AVG BWL SPACING (ft)		24		24		24		24				
TABULAR REQUIRED (ft)		3.90		3.90		3.90		3.90				
ADJUSTMENT	EXPOSURE	C	1.20	C	1.20	C	1.20	C	1.20	C		
	EAVE-RIDGE HT (ft)	5.00	0.70	5.00	0.70	5.00	0.70	5.00	0.70			
	STORY HEIGHT (ft)	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95			
	# BWLs	2.00	1.00	2.00	1.00	2.00	1.00	2.00	1.00			
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
	OMIT INTERIOR GB	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
	METHOD GB FASTEN @ 4" o.c	NO	1.00	NO	1.00	NO	1.00	NO	1.00			
HORIZONTAL BLOCKING OMITTED		NO	1.00	NO	1.00	NO	1.00	NO	1.00			
REQUIRED BWP LENGTH (ft)		3.11		3.11		3.11		3.11				
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	4.00	CS-WSP	3.83	CS-WSP	4.00		
		2	CS-WSP	3.58	CS-WSP	4.00	CS-WSP	3.25	CS-WSP	4.00		
		3										
		4										
		5										
		6										
		7										
ACTUAL BWP LENGTH (ft)		7.58		8.00		7.08		8.00				
ACTUAL ≥ REQUIRED		YES		YES		YES		YES				
SPACE	BWPs ≤ 20' APART	YES		YES		YES		YES				
# of BWPs	Length of BWL (ft)	24		24		24		24				
	BWP 1 ≤ 16', 2 > 16'	YES		YES		YES		YES				
ENDS	BWP WITHIN 10' OF END	YES	YES	YES	YES	YES	YES	YES	YES			
	CONTINUOUS END CONDITION	3	1	3	3	1	1	3	3			
BWL COMPLIANCE PASS-FAIL		PASS		PASS		PASS		PASS				

BRACE WALL CALCS WITH GARAGE

WIND SPEED (MPH)			115		115		115		115		115	
BRACED WALL LINE			1		2		A		B			
STORY												
BRACED WALL PANEL METHOD			CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G		CS-WSP CS-PF CS-G			
AVG BWL SPACING (ft)			24		24		36.83		36.83			
TABULAR REQUIRED (ft)			3.90		3.90		5.52		5.52			
ADJUSTMENT	EXPOSURE		C	1.20	C	1.20	C	1.20	C	1.20	C	
	EAVE-RIDGE HT (ft)		5.00	0.70	5.00	0.70	5.00	0.70	5.00	0.70		
	STORY HEIGHT (ft)		9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95		
	# BWLs		2.00	1.00	2.00	1.00	2.00	1.00	2.00	1.00		
	ADD PAIR 800# HOLD DOWNS		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
	OMIT INTERIOR GB		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
	METHOD GB FASTEN @ 4" o.c		NO	1.00	NO	1.00	NO	1.00	NO	1.00		
HORIZONTAL BLOCKING OMITTED			NO	1.00	NO	1.00	NO	1.00	NO	1.00		
REQUIRED BWP LENGTH (ft)			3.11		3.11		4.41		4.41			
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	4.00	CS-WSP	3.83	CS-WSP	4.00		
		2	CS-WSP	3.58	CS-WSP	4.00	CS-WSP	3.25	CS-WSP	4.00		
		3	CS-WSP	4.00	CS-WSP	2.67						
		4										
		5										
		6										
		7										
ACTUAL BWP LENGTH (ft)			11.58		10.67		7.08		8.00			
ACTUAL ≥ REQUIRED			YES		YES		YES		YES			
SPACE	BWPs ≤ 20' APART		YES		YES		YES		YES			
# of BWPs	Length of BWL (ft)		36.83		36.83		24		20			
	BWP 1 ≤ 16', 2 > 16'		YES		YES		YES		YES			
ENDS	BWP WITHIN 10' OF END		YES	YES	YES	YES	YES	YES	YES	YES		
	CONTINUOUS END CONDITION		3	3								
BWL COMPLIANCE PASS-FAIL			PASS		PASS		PASS		PASS			

Job no. : 1BDRM/1BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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Mark Rogers, Architect, PLLC

761 Highland Circle  
Chino Valley, Arizona 86323  
Phone: (928) 848-3516  
markrogers914@gmail.com

BRACE WALL PLANS /

CALCULATIONS

PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

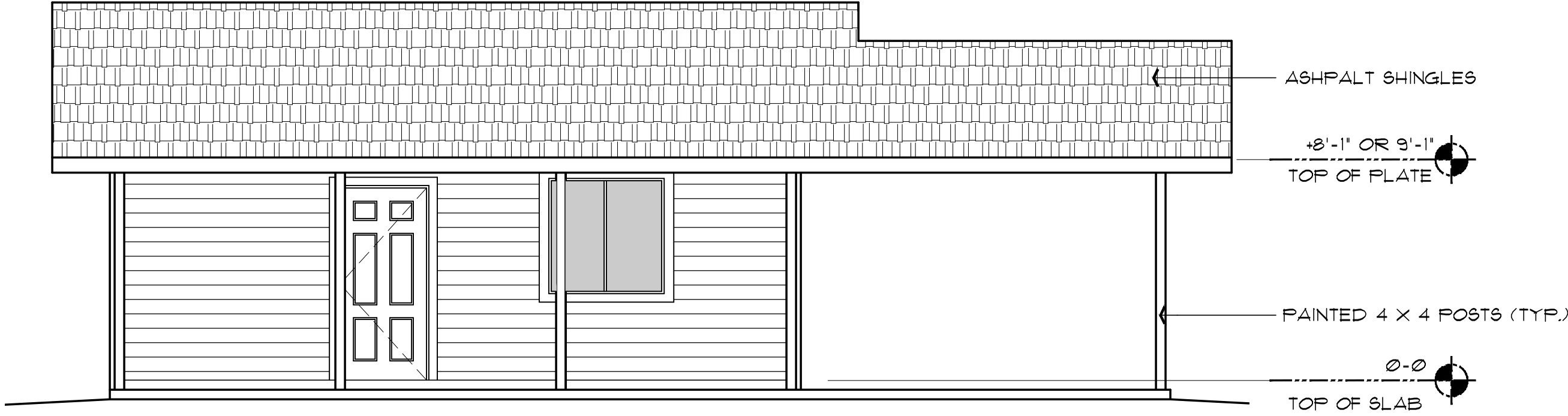
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A-4.0



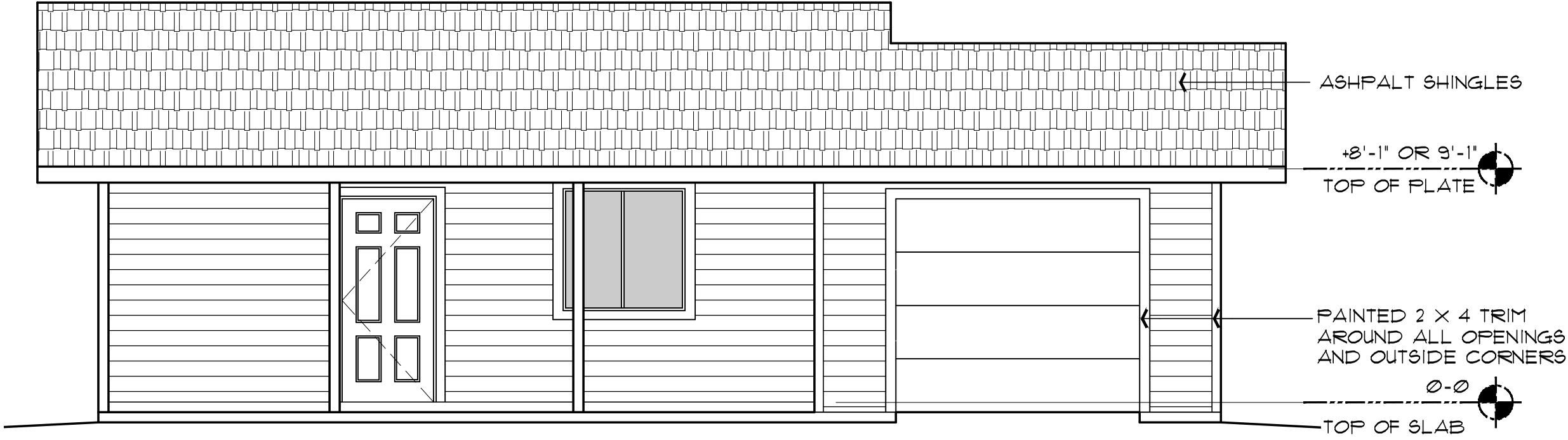
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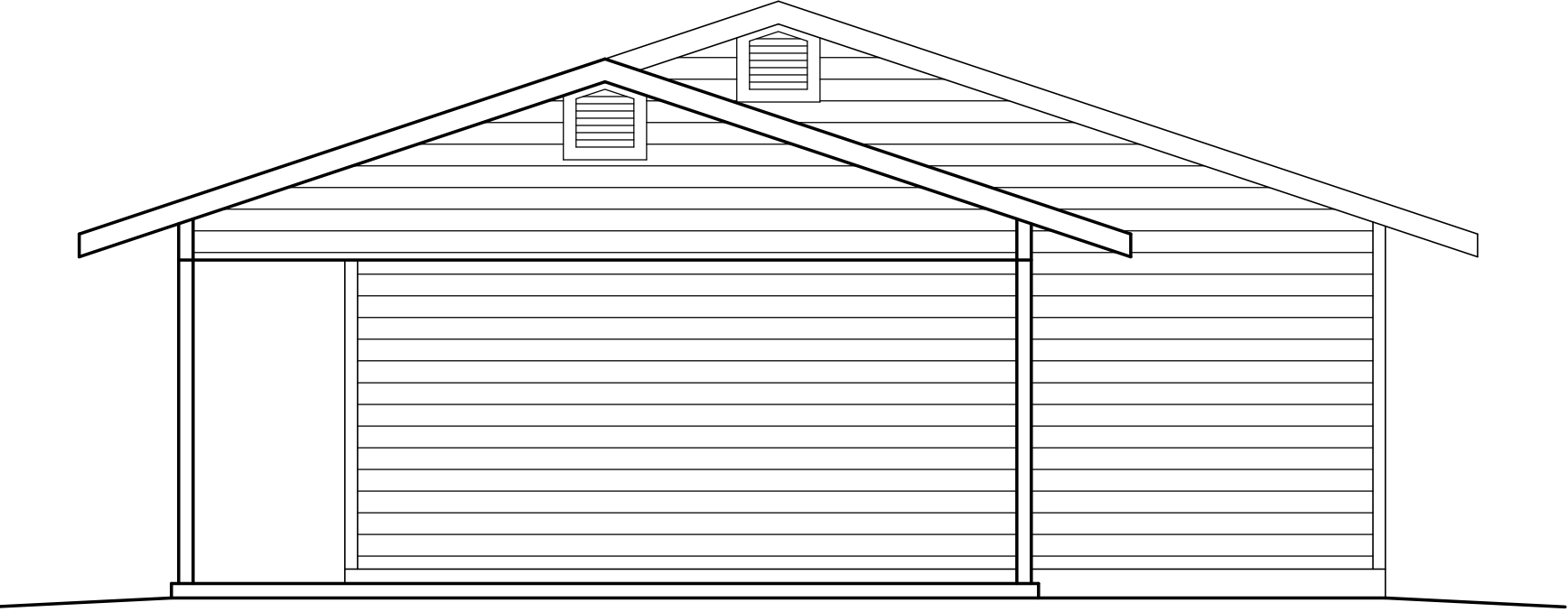
FRONT ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



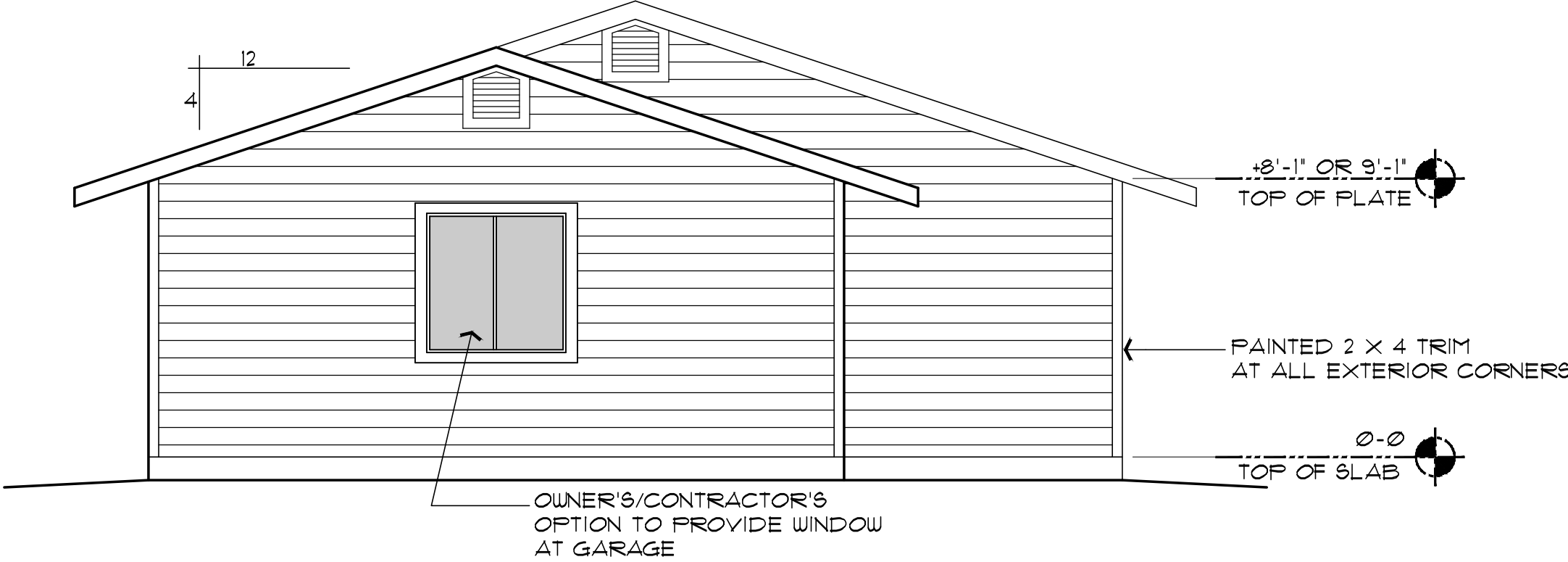
FRONT ELEVATION (with optional Garage)

SCALE: 1/4" = 1'-0"



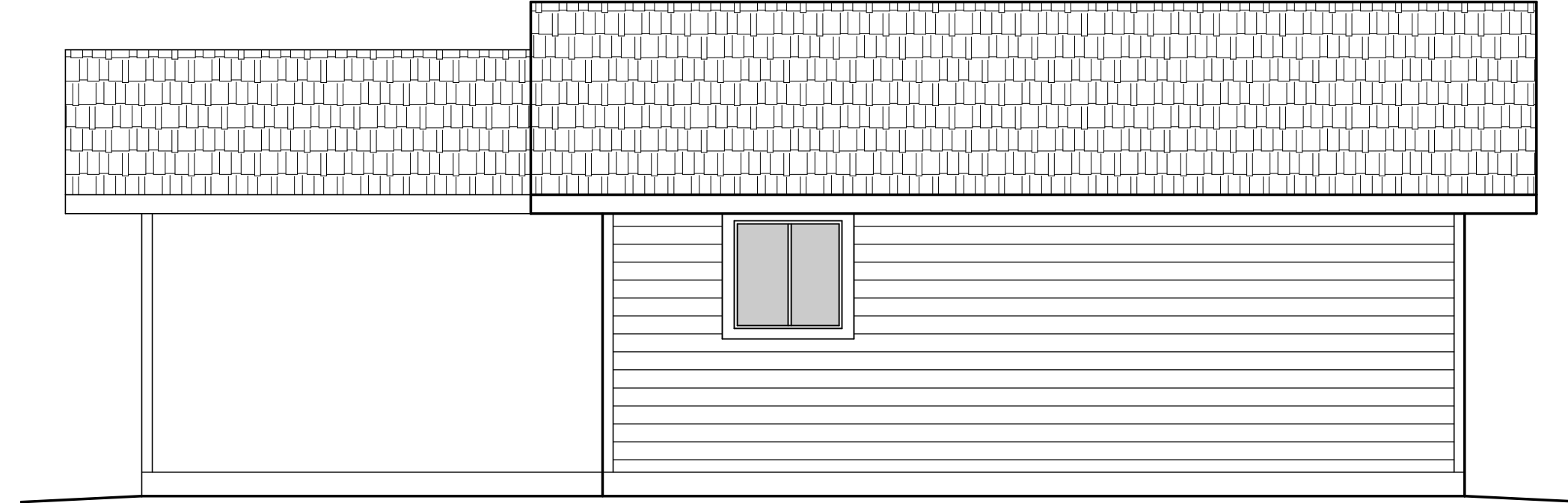
RIGHT SIDE ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



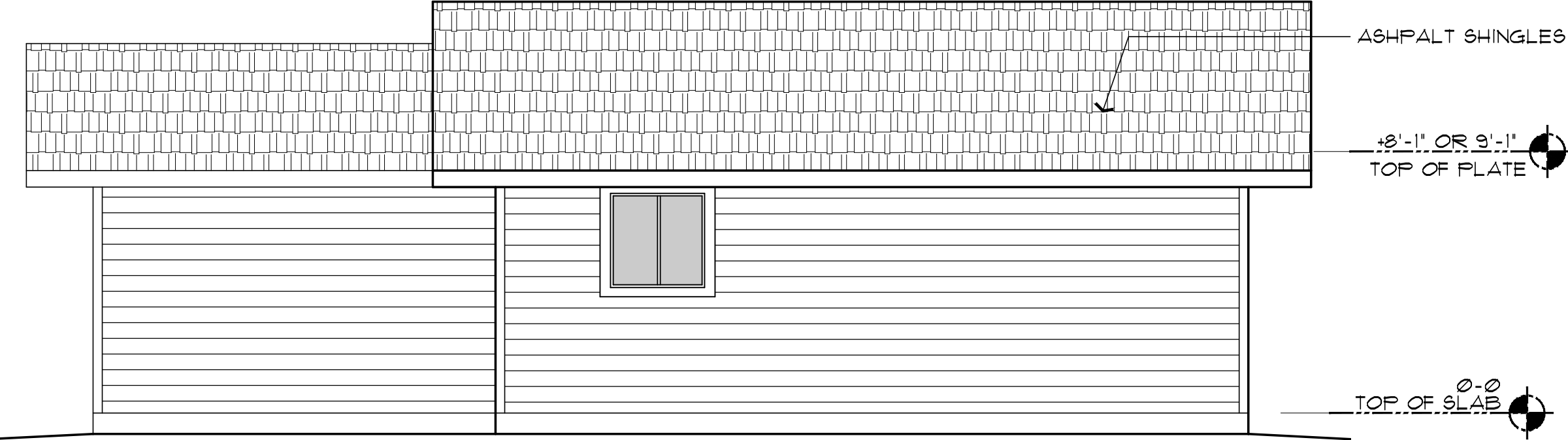
RIGHT SIDE ELEVATION (with optional Garage)

SCALE: 1/4" = 1'-0"



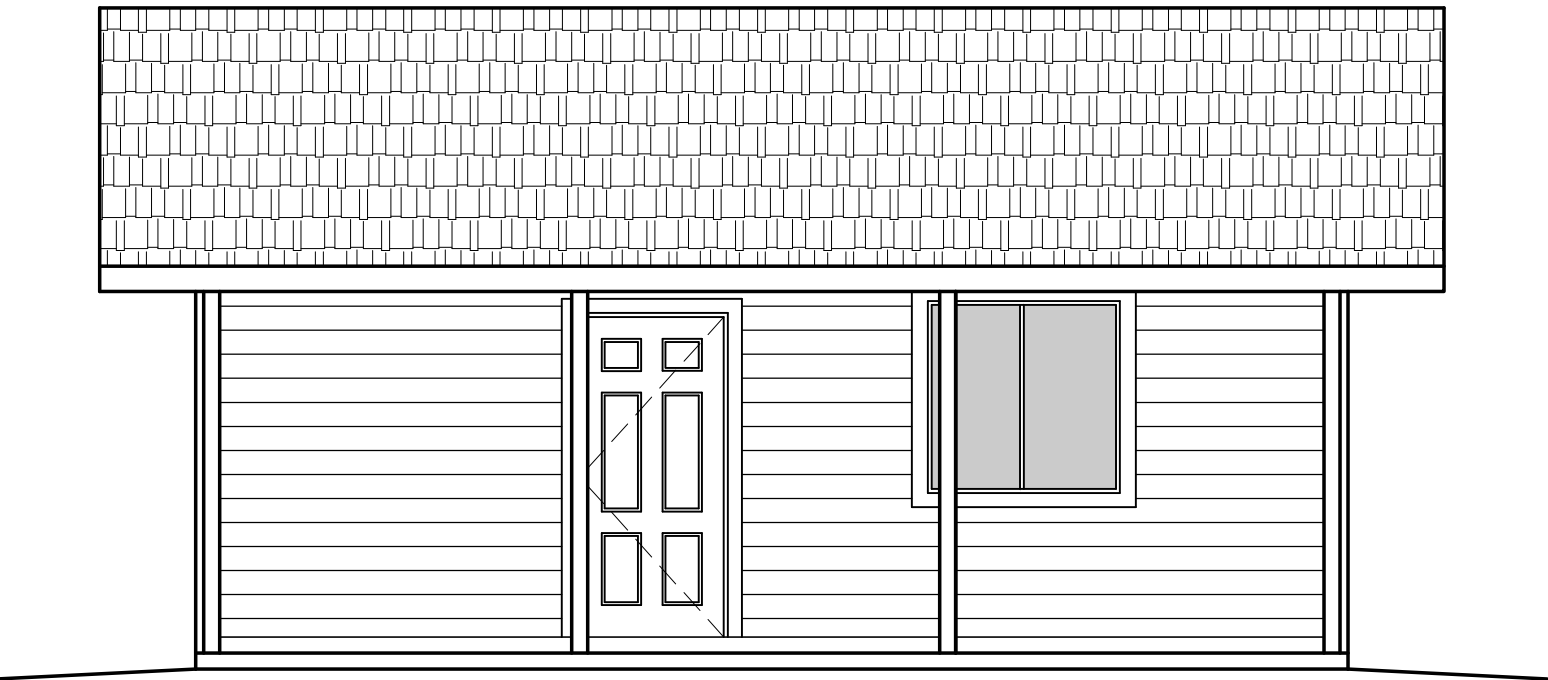
REAR ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



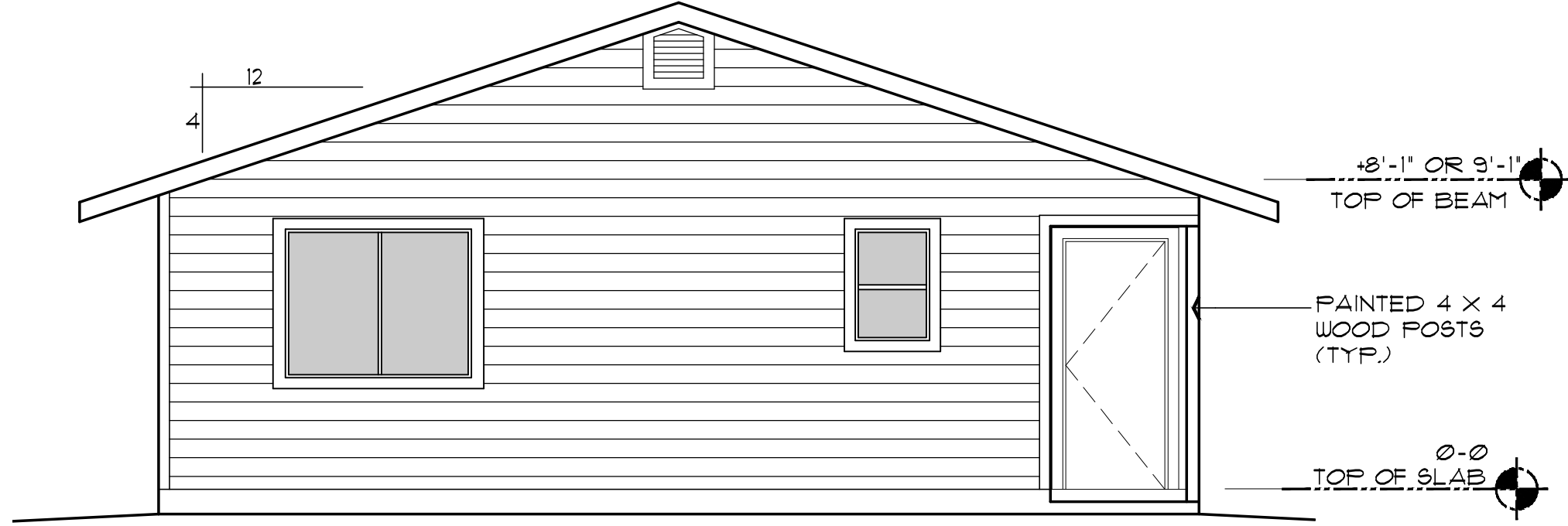
REAR ELEVATION (with optional Garage)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION (without Garage, or Carport option)

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (similar for all options)

SCALE: 1/4" = 1'-0"

Job no. : 1BDRM/1BATH  
Date : MAY 24, 2024  
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Mark Rogers, Architect, PLLC

761 Highland Circle  
Chino Valley, Arizona 86323  
Phone: (928) 848-3516  
markrogers914@gmail.com

EXTERIOR ELEVATIONS  
PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

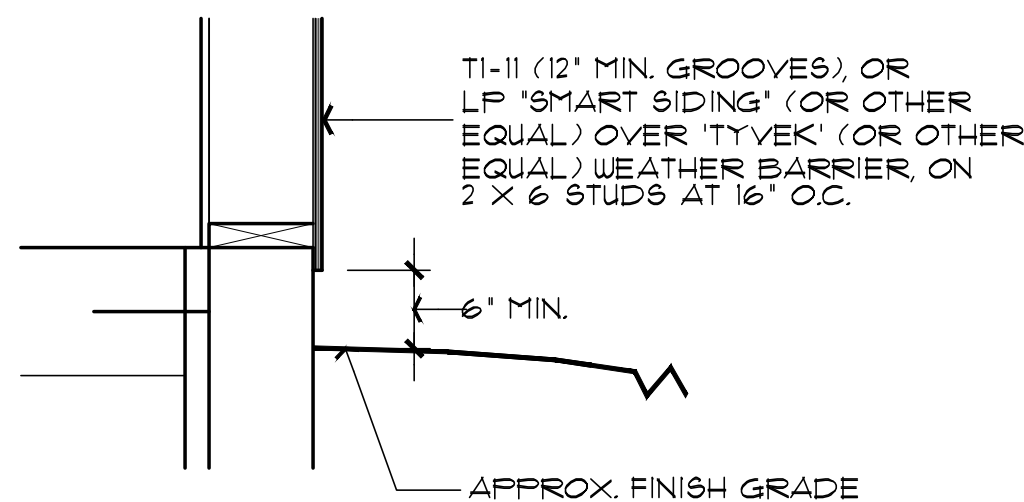
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

A-5.0





STUCCO SYSTEM OVER 'TYVEK'  
HOUSE WRAP (OR OTHER  
EQUAL) ON 1/2" PLYWOOD  
SHEATHING ON  
2 X 6 STUDS AT 16" O.C.

CONT. MTL. WEEP SCREED

2" MIN. AT CONCRETE

4" MIN. AT FINISH GRADE

APPROX. FINISH GRADE

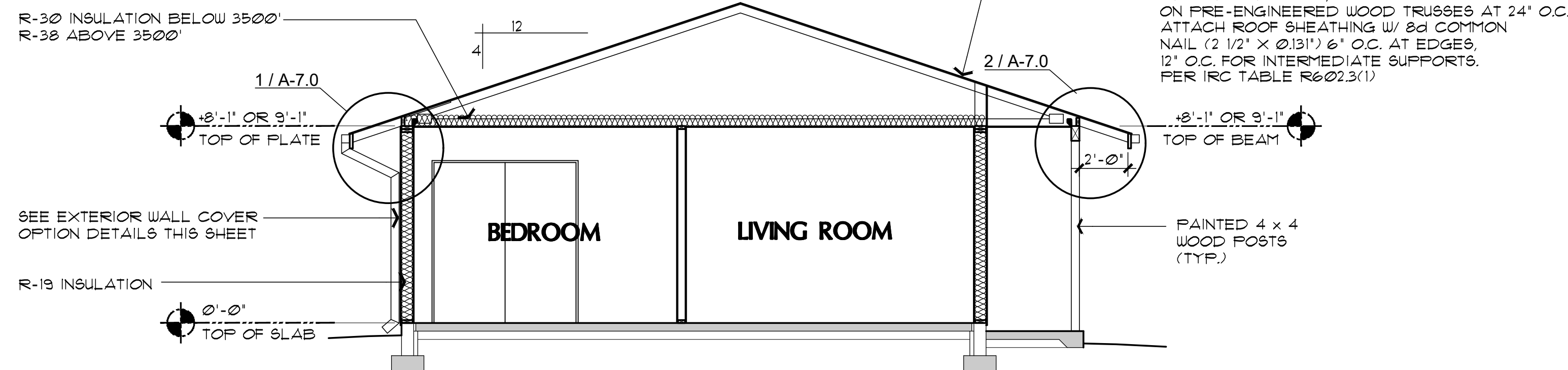
HORIZ. SIDING OVER "TYV" HOUSE WRAP (OR OTHER EQUAL) ON 1/2" PLYWOOD SHEATHING ON 2 X 6 STUDS @ 16" O.C.

CONT. MTL. WEEP SCREED

6" MIN.

APPROX. FINISH GRADE

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# Mark Rogers, Architect, PLLC

761 Highland Circle ♦ ♦ ♦ Chino Valley, Arizona 86323  
Phone: (928) 848-3516  
markrogers914@gmail.com

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**BUILDING SECTIONS**  
**PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING**

**YAVAPAI COUNTY, ARIZONA**

1015 FAIR STREET  
PRESCOTT, ARIZONA

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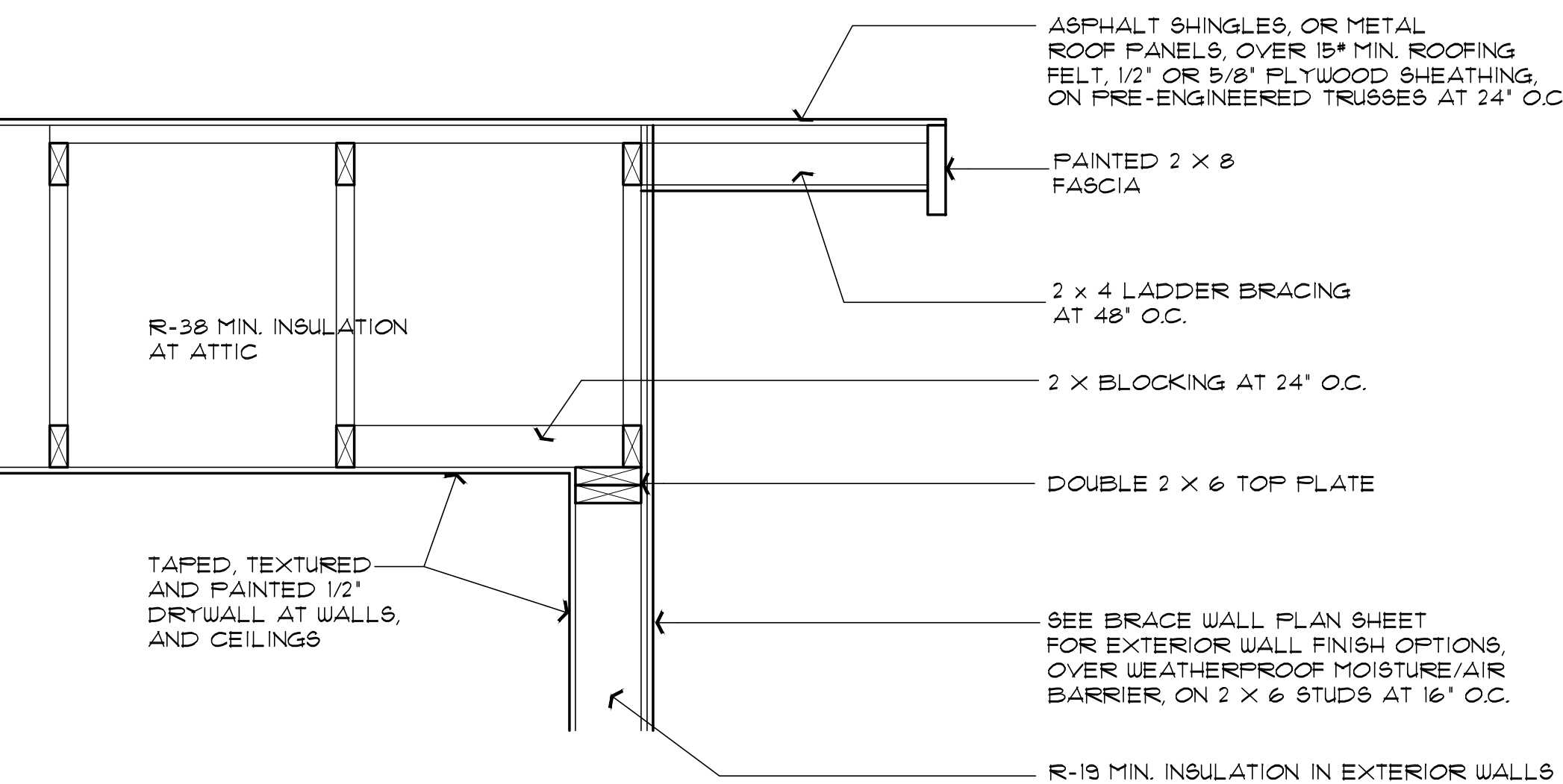
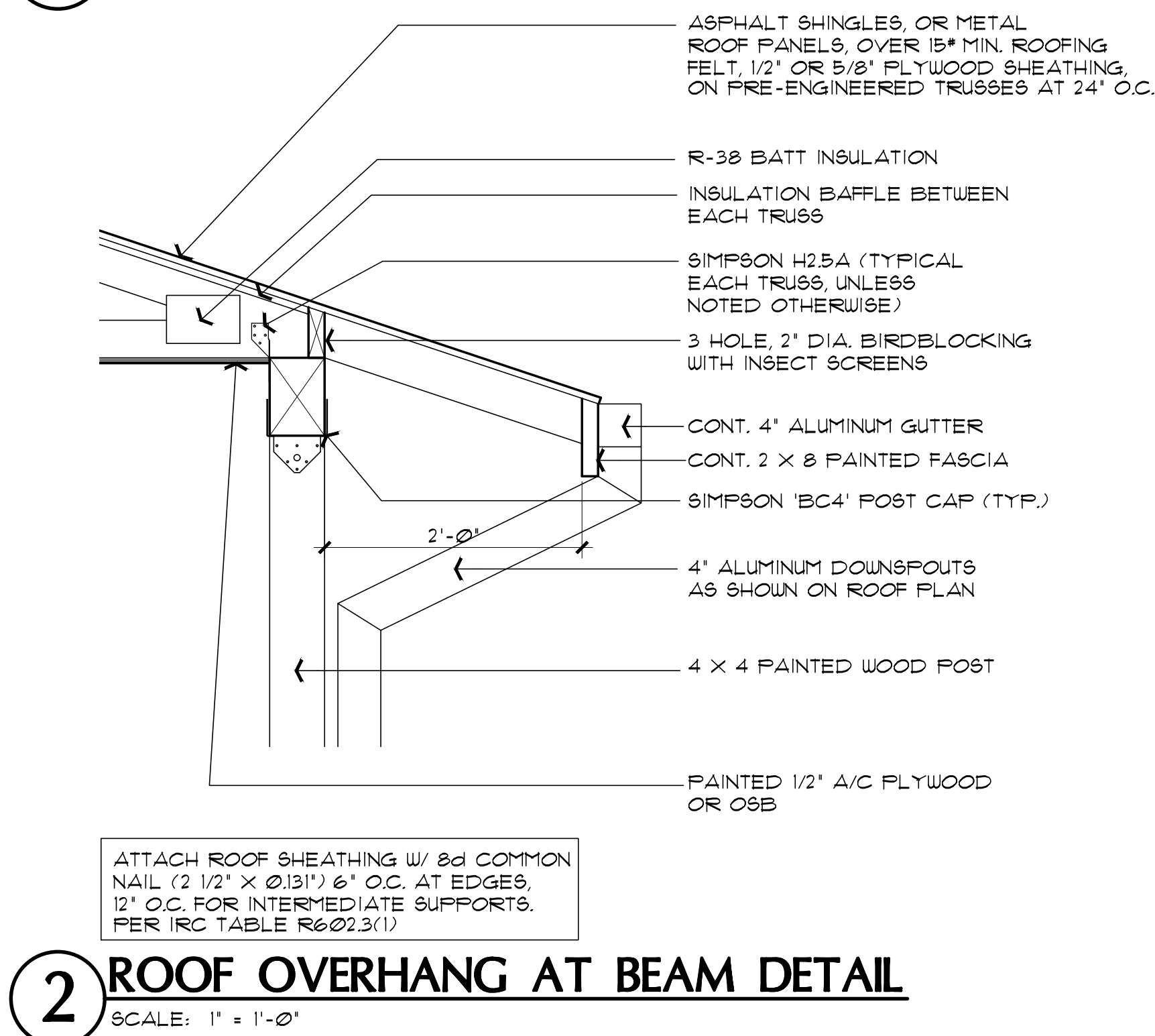
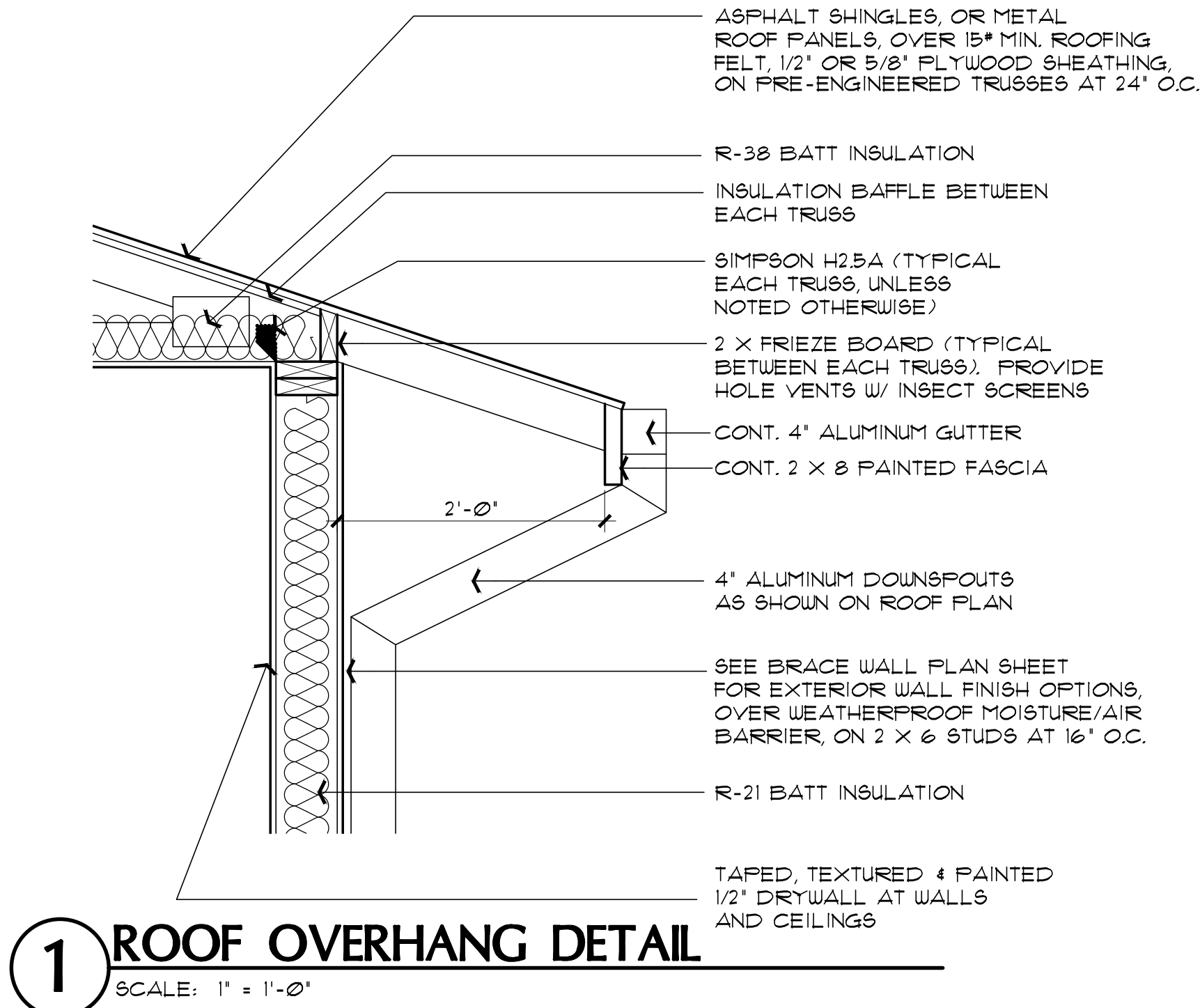
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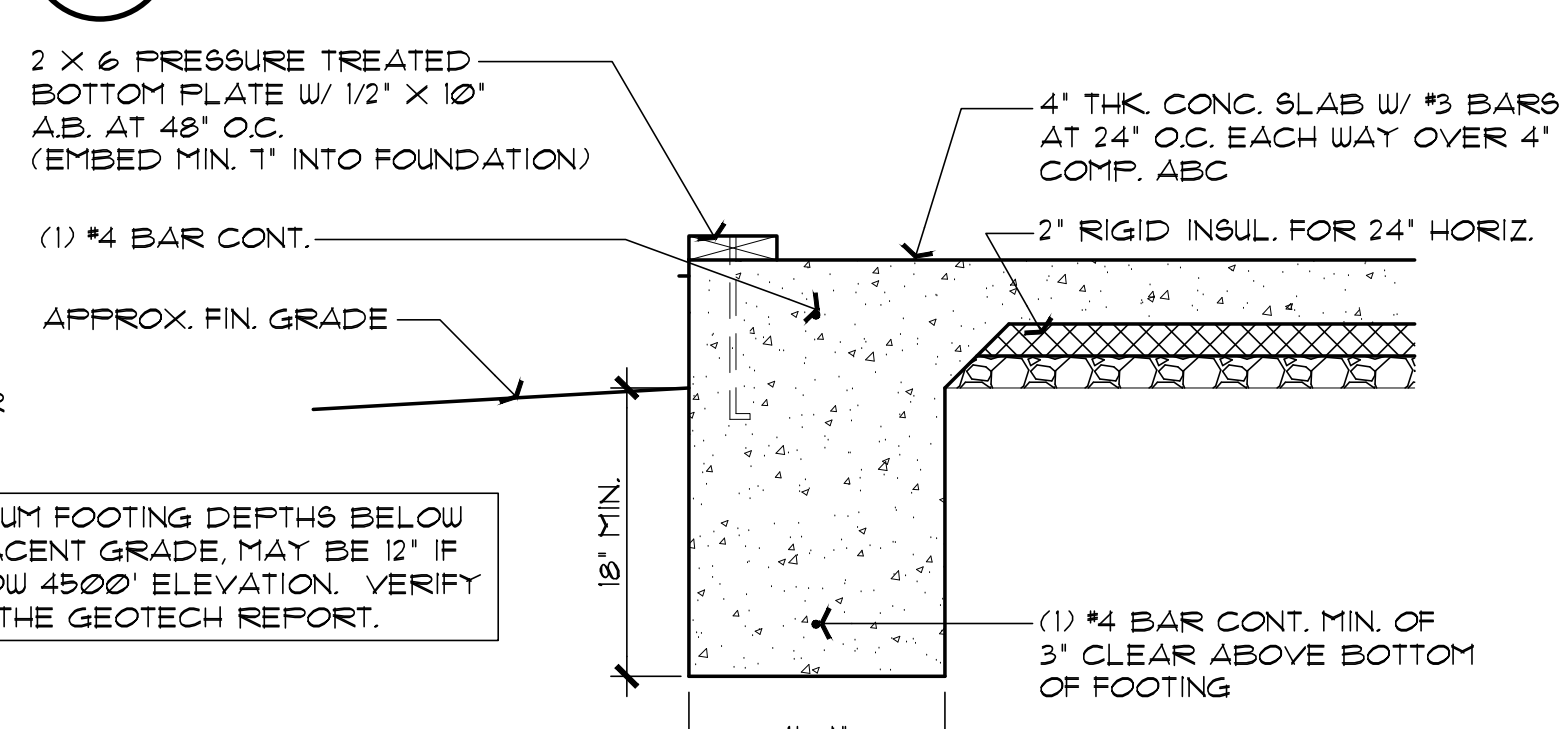
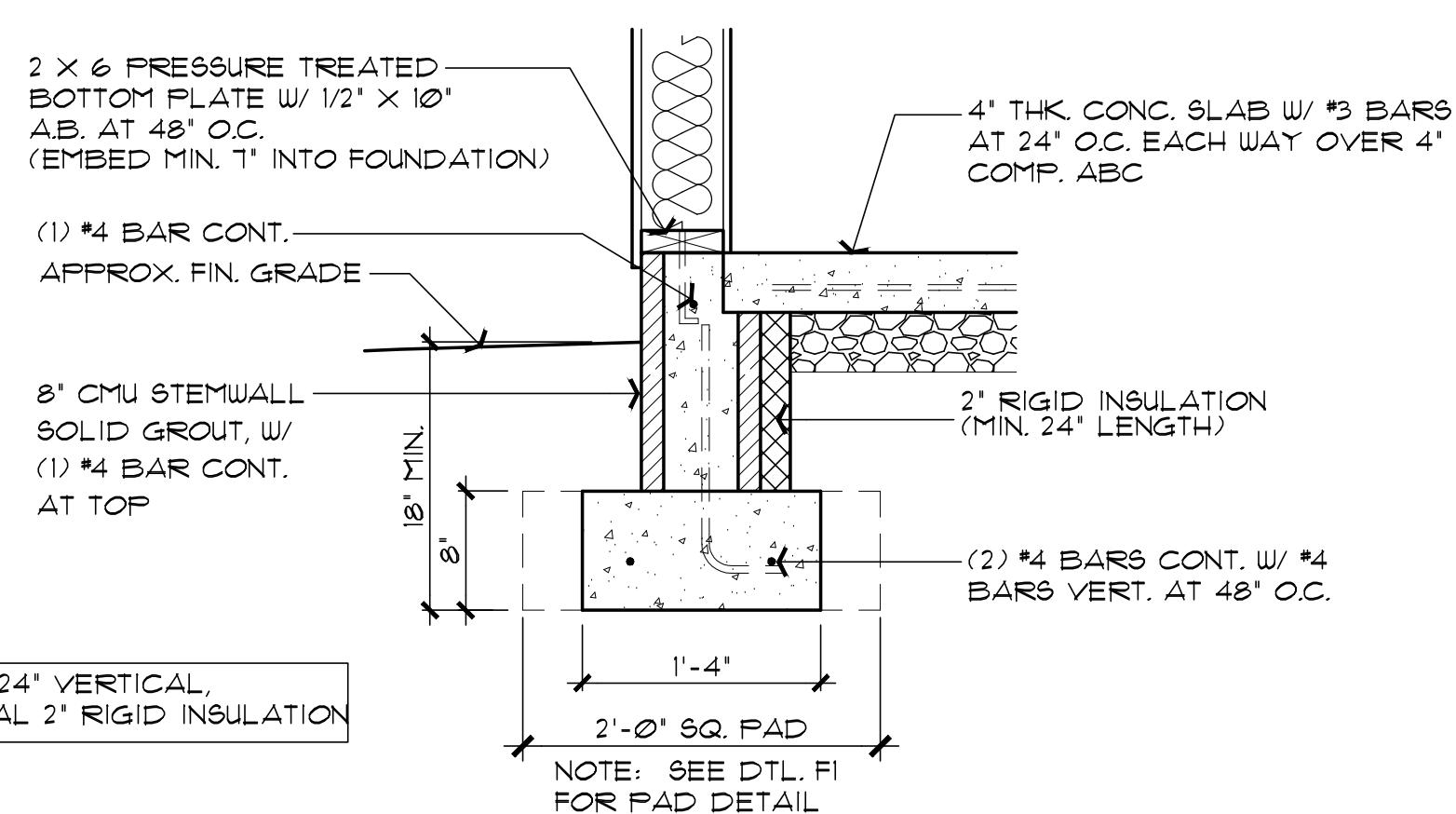
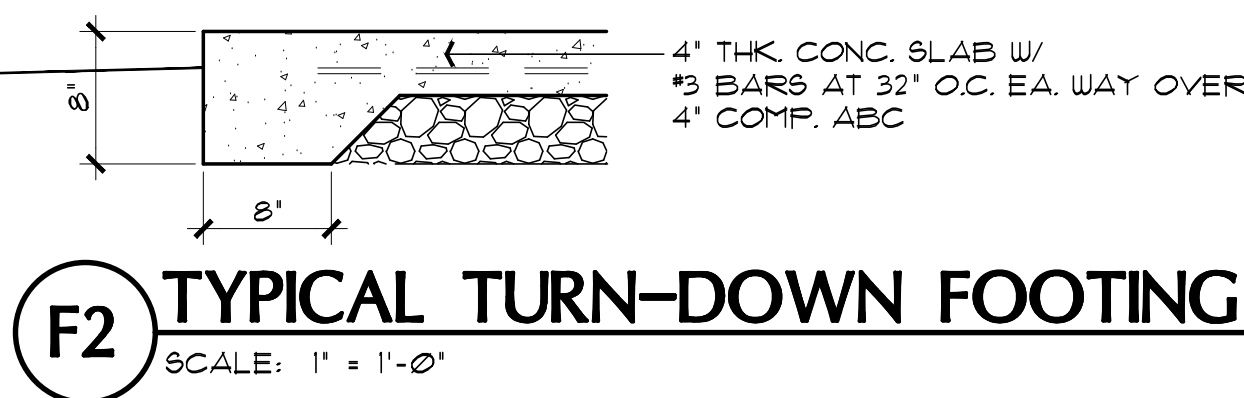
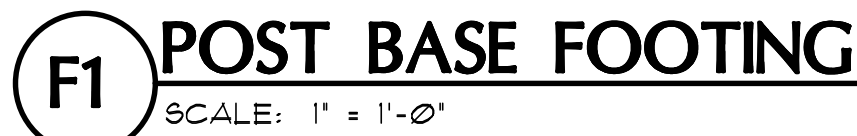
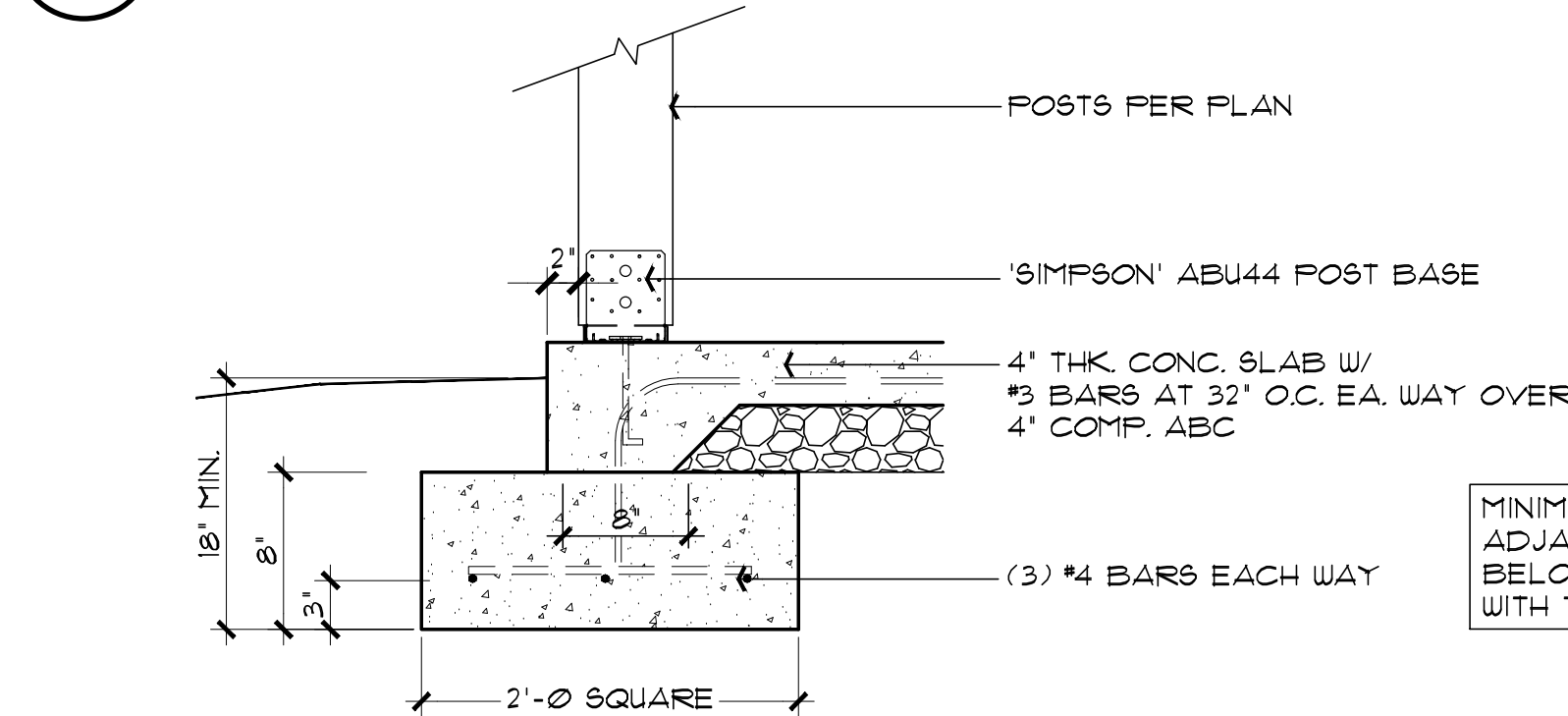
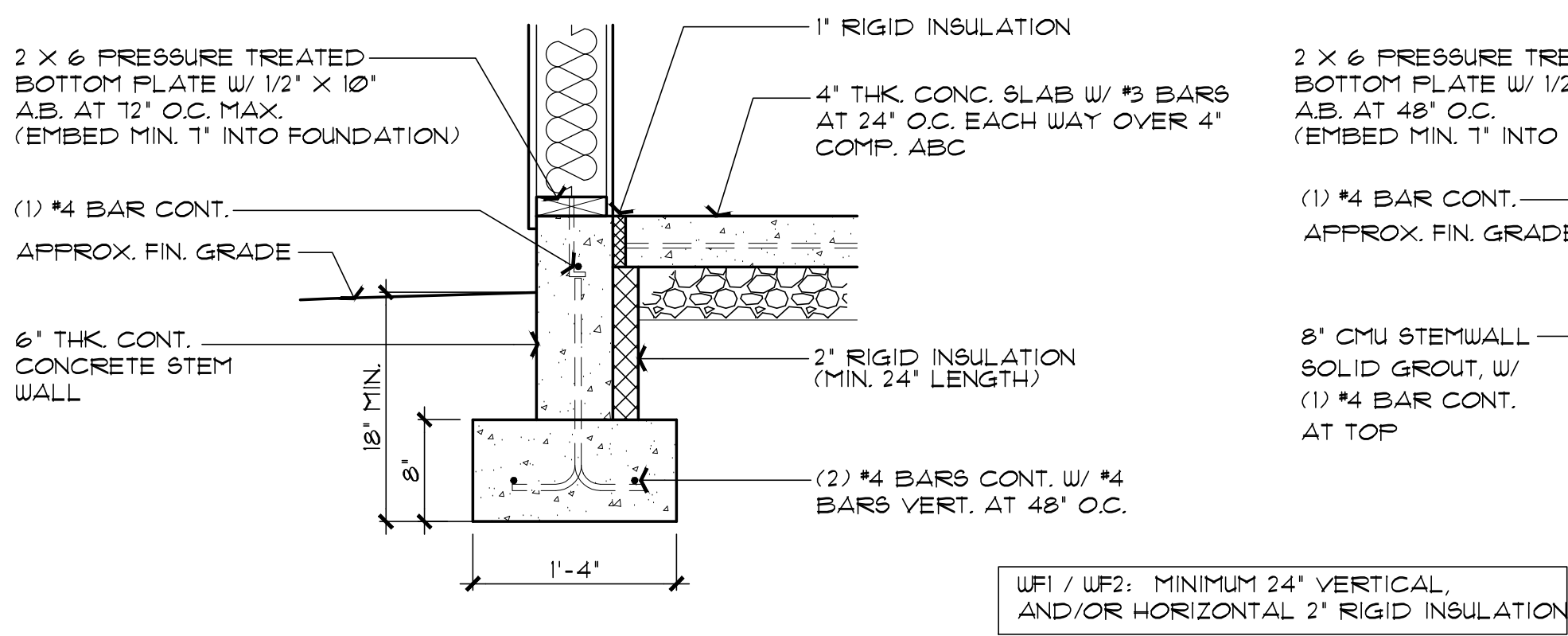
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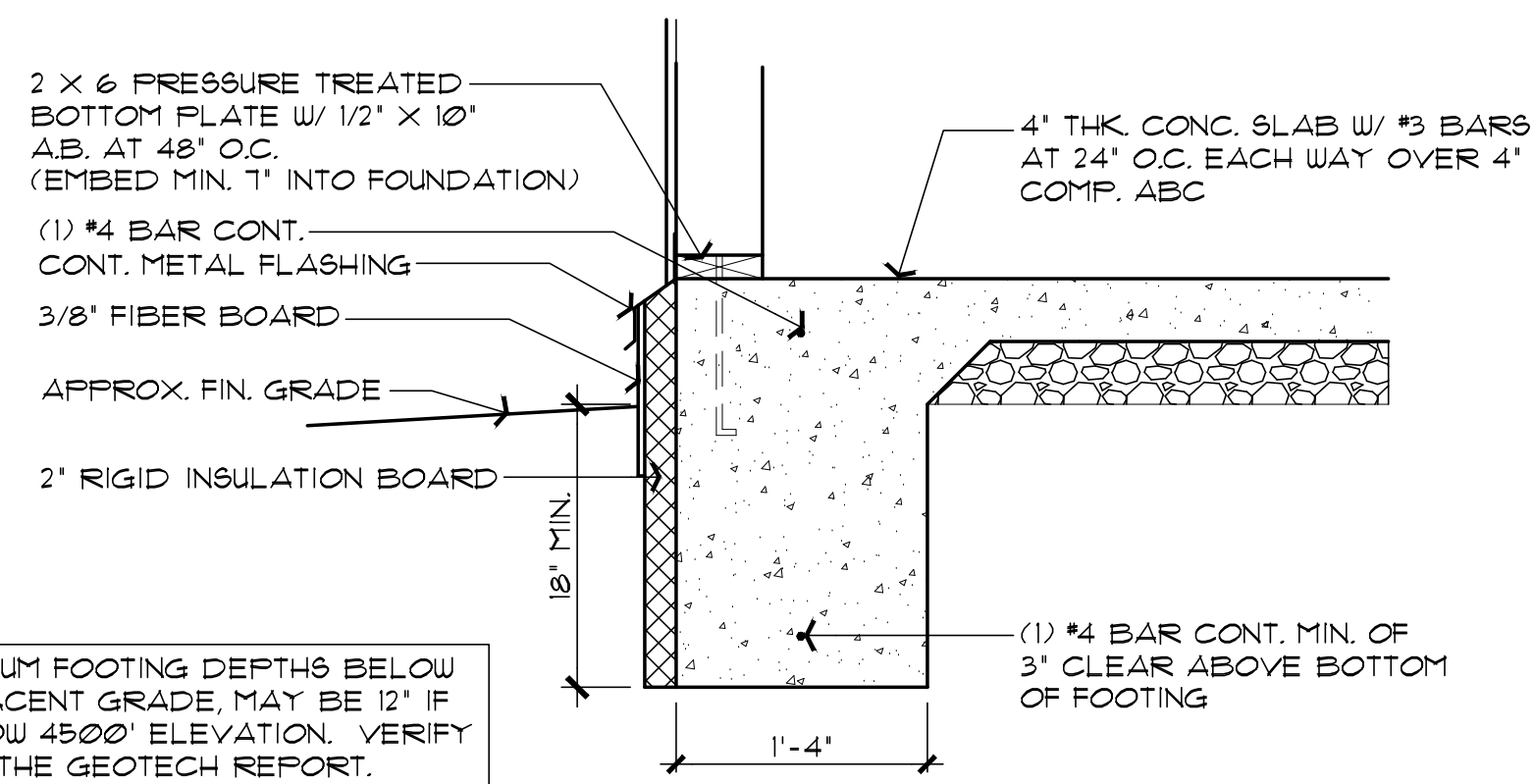
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NOTE: SLAB INSULATION MAY BE ELIMINATED IF USING WINDOWS WITH 0.32 U-FACTOR OR BETTER.



Job no. : 1BDRM/1BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
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Scale : AS NOTED  
Revisions:

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Mark Rogers, Architect, PLLC

761 Highland Circle  
Chino Valley, Arizona 86323  
Phone: (928) 848-3516  
markrogers914@gmail.com

FOUNDATION / ROOF DETAILS  
PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

A-7.0

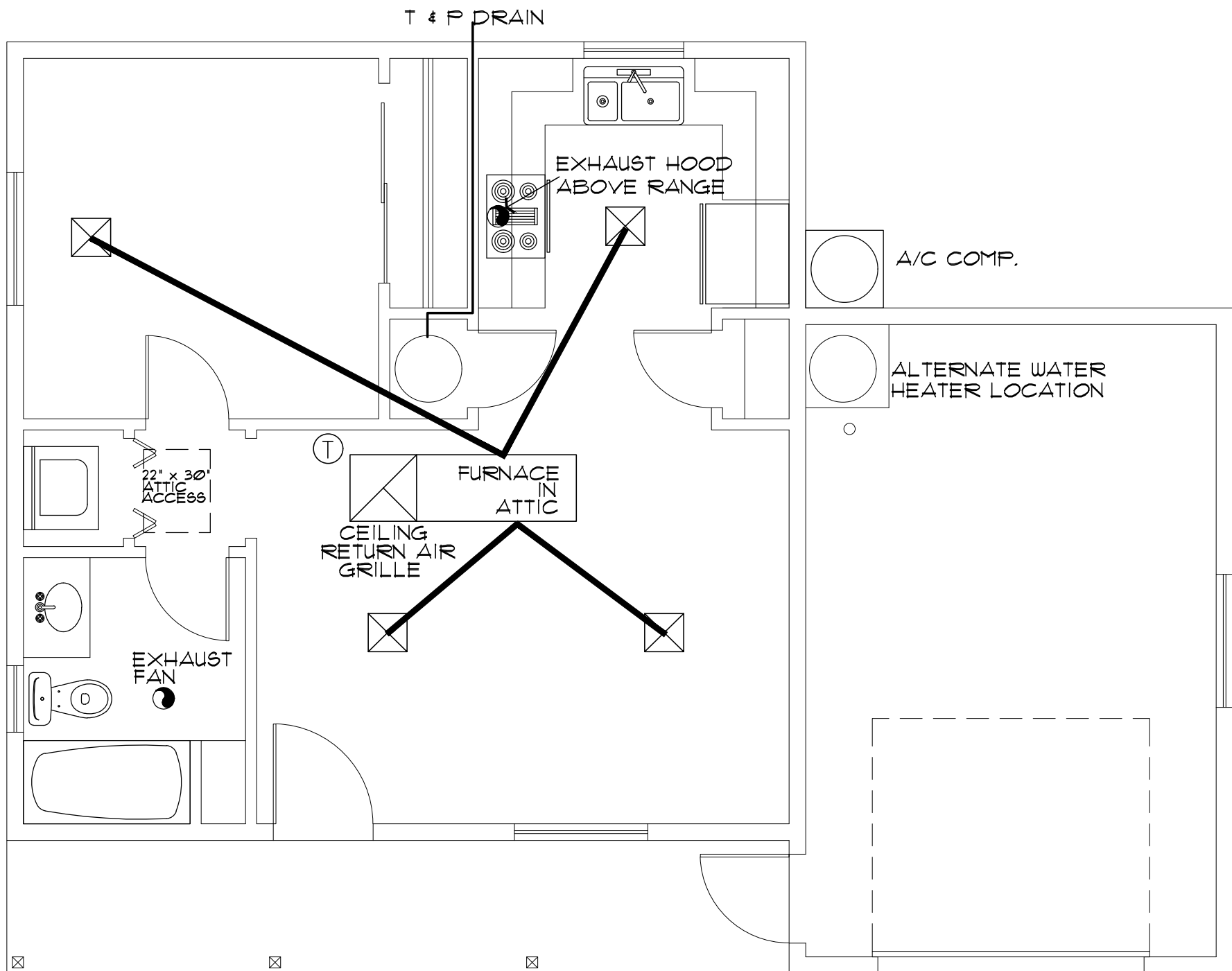
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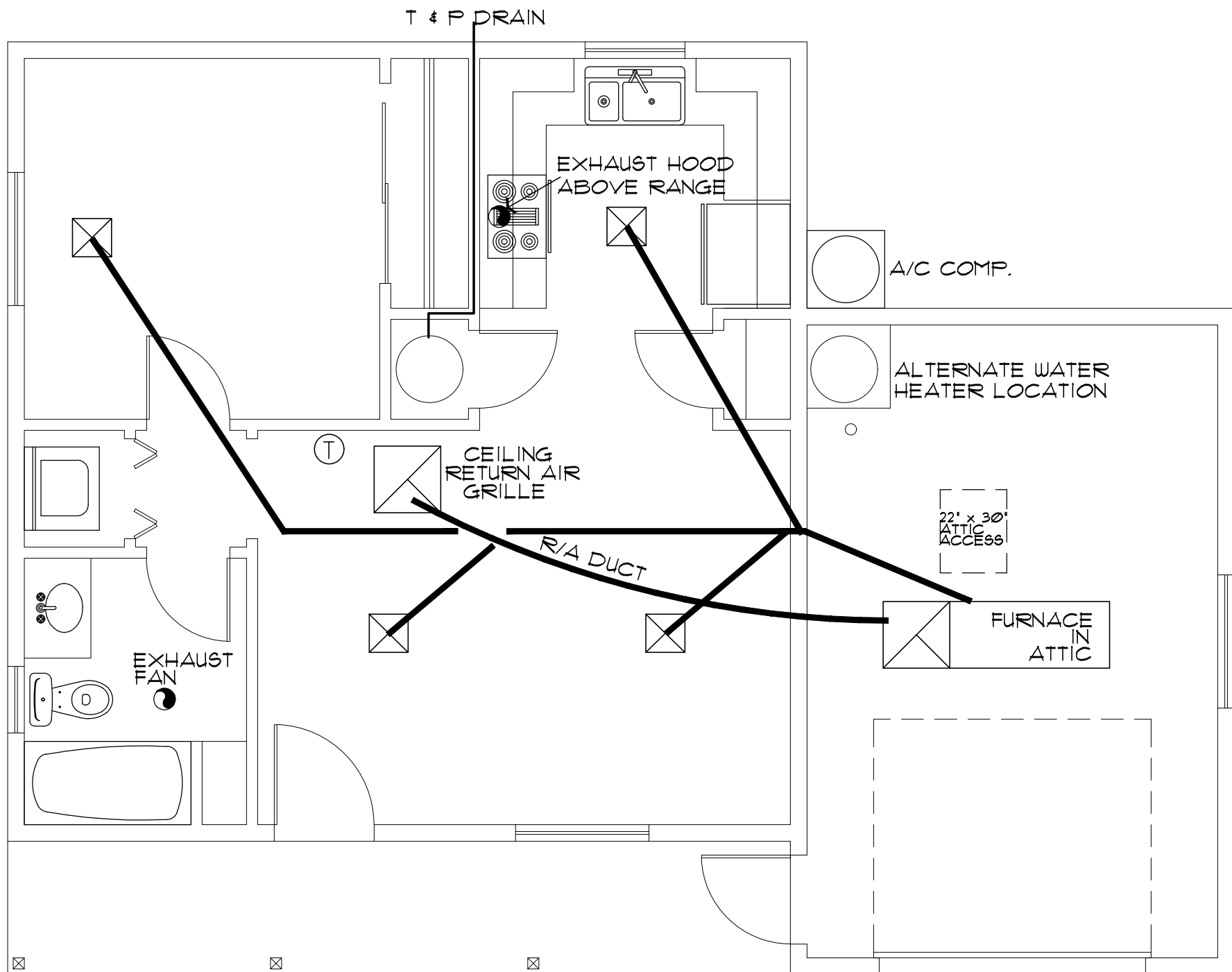
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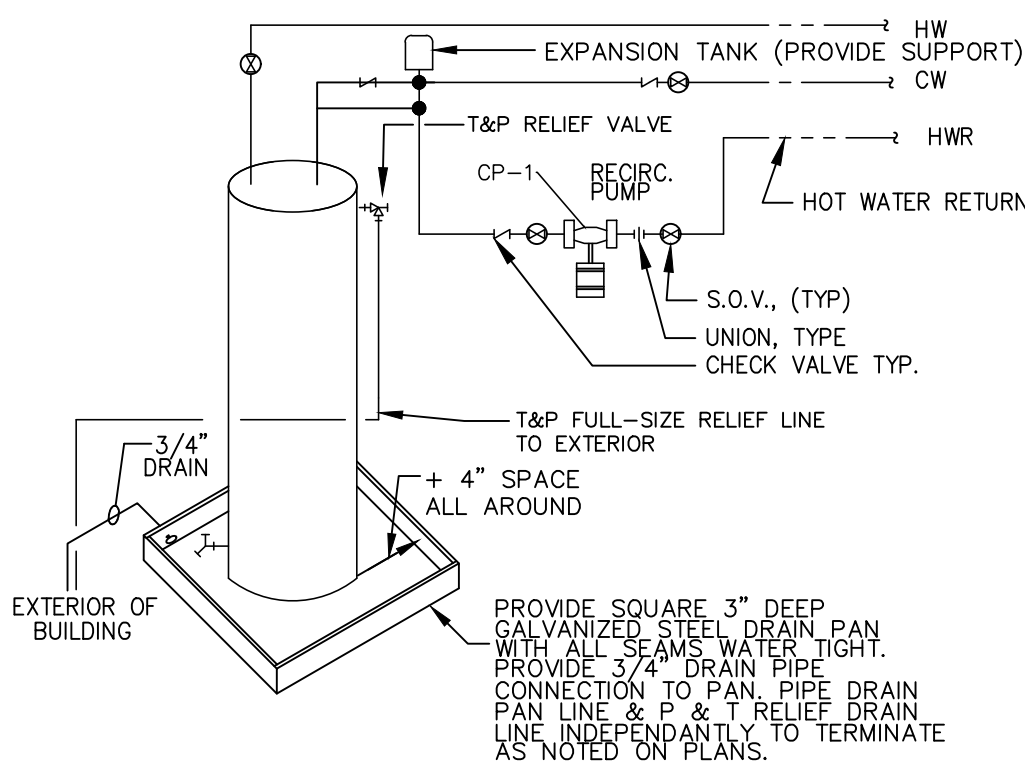
### HVAC PLAN (with furnace above habitable area)

SCALE: 1/4" = 1'-0"



### HVAC PLAN (with furnace above Garage / Carport)

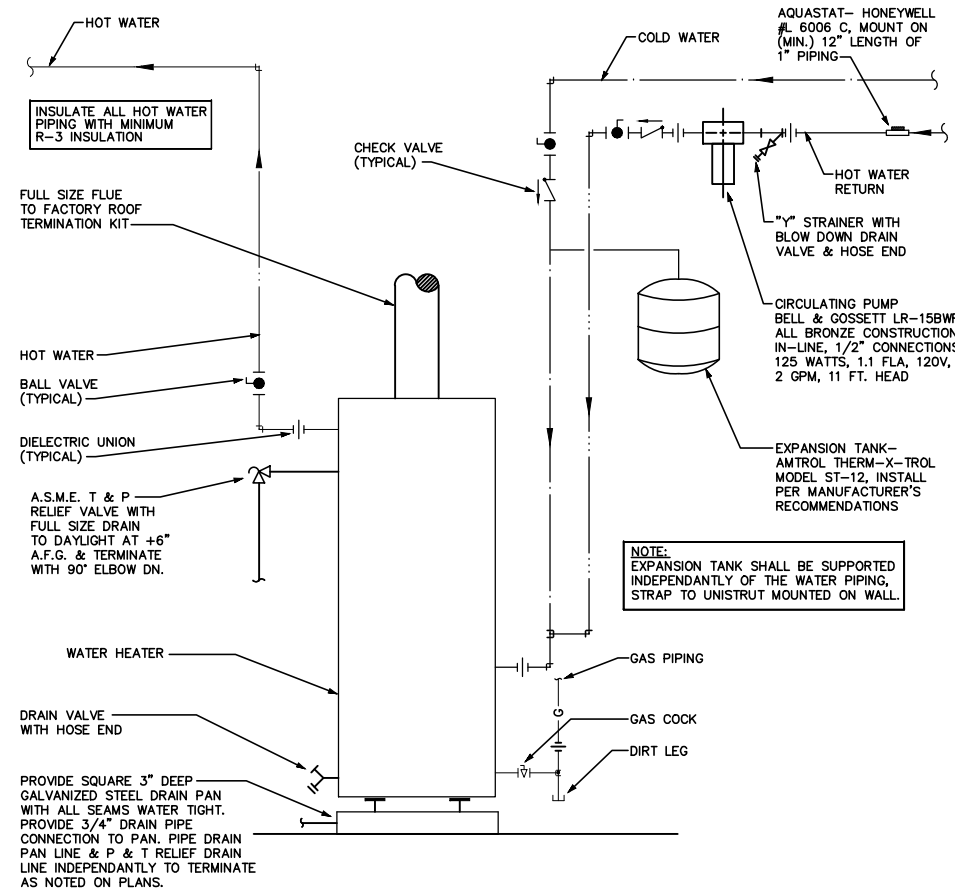
SCALE: 1/4" = 1'-0"



### PROVIDE ACCESSABLE ELECTRICAL DISCONNECT

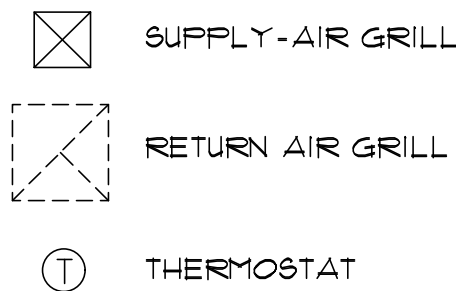
### ELECTRIC WATER HEATER

NO SCALE



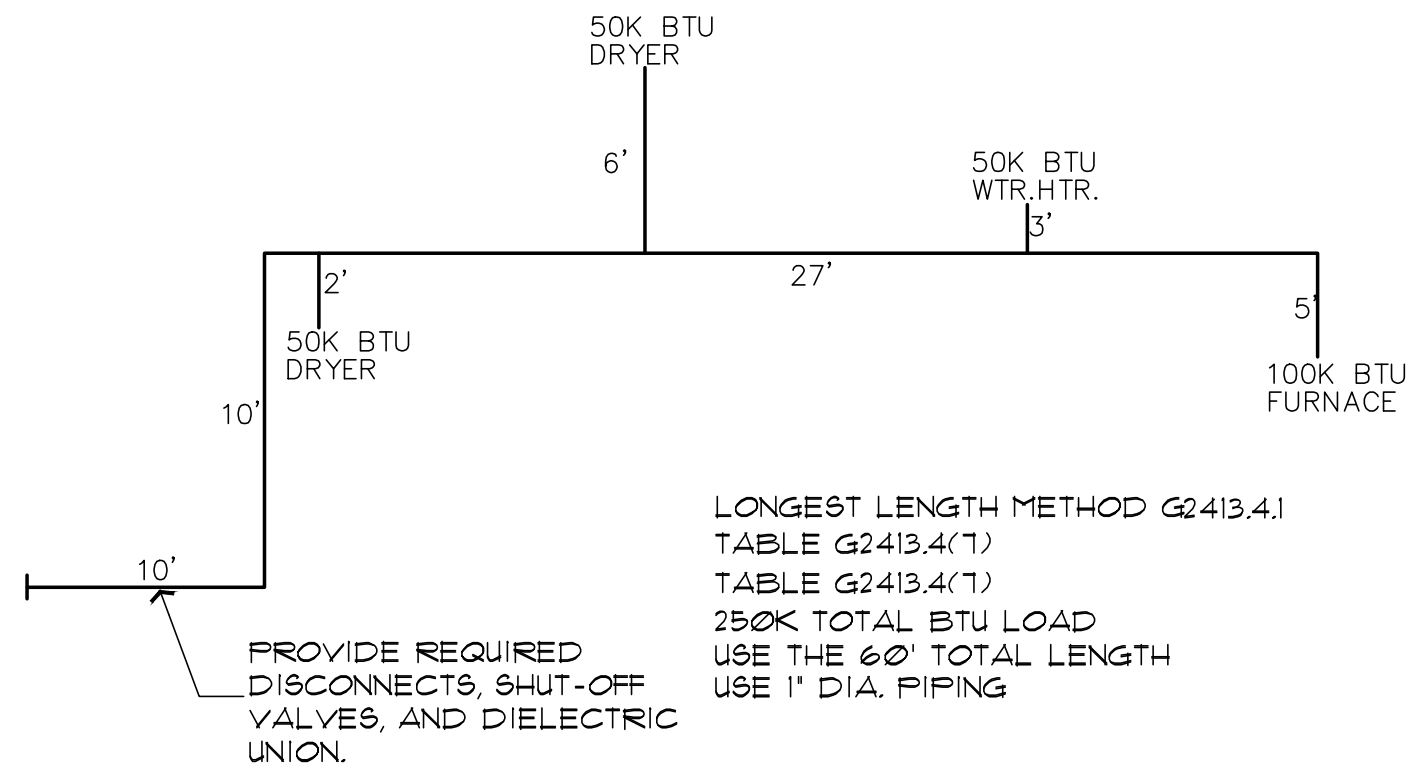
### GAS WATER HEATER OPTION

NO SCALE



### HVAC/PLUMBING GENERAL NOTES:

1. THE MECHANICAL CONTRACTOR SHALL DETERMINE THE FINAL EQUIPMENT SIZING, DUCT SIZING, AND DUCT LAYOUT PRIOR TO INSTALLATION.
2. DRAIN AND VENT SIZES TO BE DETERMINED BY PLUMBING CONTRACTOR.
3. WATER HEATER RELIEF VALVE SHALL EXTEND OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2' NOR LESS THAN 6' ABOVE THE GROUND AND POINTING DOWNWARD.
4. PROVIDE A PAN, AND DRAIN FOR THE WATER HEATER.
5. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING. IT SHALL NOT EXCEED 25' IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE.
6. THE SITE PLAN SHALL INDICATE THE LOCATION OF THE GAS SOURCE, THE DISTANCE AND PIPE SIZE FROM THE SOURCE, TO THE RESIDENCE, AND THE TYPE OF FUEL (NATURAL GAS OR PROPANE).
7. BI-FOLD DOOR AT WATER HEATER CLOSET SHALL BE LOUVERED FOR COMBUSTION AIR (MIN. REQUIREMENTS OF 100 SQ. INCHES OF FREE AIR).



### GAS PIPING ISOMETRIC

NO SCALE

NOTE: USE 1" DIA. PIPING FOR ALL FLOOR PLAN LAYOUTS, INCLUDING. ALTERNATE FIXTURE LOCATIONS. THE PLUMBING CONTRACTOR SHALL SHALL VERIFY ALL SIZING, AND FITTINGS, PRIOR TO INSTALLATION.

Job no. : 1BDRM/1BATH  
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Chk'd by: MFR  
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Revisions:

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ELECTRICAL / HVAC PLANS  
SYMBOL SCHEDULE / NOTES  
PHASE TWO - 1 BDRM / 1 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

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