

2018  
IRC - IBC

2006  
IECC

CALL TWO WORKING DAYS BEFORE YOU DIG  
1-800-STAKE-IT (1-800-782-5348)  
YAVAPAI COUNTY

2018 IRC R311.3 There shall be a floor or landing on each side of the exterior door. The width of the landing shall not be less than the door served with a minimum distance of 36" measured in the direction traveled.

The inspector may require further clarification on stamped plans. This may include, but not limited to a special inspection and /or a cross section detail stamped and signed by the Designer/Architect/Engineer of record.



*PARCEL:	
*OWNER/APPLICANT:	
PERMIT #:	
PROJECT:	HOME OF MY OWN - 2 BED RIGHT (2024 PLANS)

\* Information required to be filled out by the applicant.

**CAUTION**  
Yavapai County permitted building plans do not relieve the Owners or General Contractor from their responsibilities to conform to all adopted building codes. Every effort has been made to provide a thorough plan review, however plans may contain irregularities. If plans do not contain the proper information or details the Owner/General Contractor Shall Not proceed with the project until the issue has been resolved through Yavapai County and any professional involved in the project

Per 2018 IRCR309.1, R309.2, and IBC 406.3.3: Garage/ carport surfaces used for parking of vehicles shall be sloped to drain liquids to the main vehicle entry doorway or an approved drain

Effective April 20, 2006,  
Fully shielded fixtures are required for all exterior lamps

The mechanical equipment, design and system have been reviewed for the basic design ONLY. The HVAC contractor shall review the plans/ calculations to assure the design is adequate and complies with all applicable codes and installation

**Yavapai County Ordinance, Section 112.6 Drainage across Property Lines.**  
Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be prevented by installation of non-erosive down-drains or other devices.

THE ENGINEERED  
GEOTECHNICAL REPORT IS A  
PART OF THE PERMITTED  
DOCUMENTS, AND SHALL BE  
ONSITE AT ALL TIMES WITH THE  
PERMITTED PLANS.

Per Article 210.12 of the  
2017 NEC

Arc fault circuit interupters  
are required

THE GAS PIPING INSTALLER SHALL  
VERIFY THE SYSTEM IS OF SUCH SIZE  
FOR THE MAXIMUM DEMAND AND TO  
MEET EACH APPLIANCE INLET AT NOT  
LESS THAN THE MINIMUM SUPPLY  
PRESSURE REQUIRED

THIRD PARTY SPECIAL INSPECTIONS REQUIRED:  
(Third party special inspections are not in lieu of required building inspections.)

The following items require special inspections:

- SOILS CONDITION
- SOILS COMPACTION
- BOTTOM OF FOOTING COMPACTION
- AND OTHER INSPECTIONS REQUIRED BY THE GEOTECHNICAL ENGINEER.

Reports to be supplied to the Building Inspector

YES



It is imperative that the owner /contractor print ALL permit documents from the online portal before inspection.

**CAUTION:**  
Areas within Yavapai County are likely to have expansive, compressible, shifting or other unknown soils conditions. The building official may require a soils test to determine the soils characteristic at a particular location.

Applicant acknowledges that plans stamped by a registrant will not be fully reviewed by staff and that approvals are contingent upon favorable field inspections. Should conditions in the field prove non-conductive to code requirements, significant delays may be realized. Applicant attests that the sealed plans are in compliance with all applicable codes and ordinances

A separate permit for alternative electric source is required. The alternative electric source permit will need to be issued and finalized before a building final can be obtained

Foam spray shall comply with the ES Reports and applicable codes. It is the responsibility of the owner and/or contractor(s) to review reports and understand requirements before application. Ignition/thermal barrier is required unless otherwise exempt. Failure to comply may cause additional cost to the owner/contractor(s).

**GENERAL GRADING NOTES:**  
Where the lot line walls, slopes, or other physical barriers prohibit 6" of fall within 10', drains or swales shall be provided to insure drainage away from the structure.  
**MAINTAIN MINIMUM 2:1 SLOPE**  
The faces of cut and fill slopes shall be prepared and maintained to control against erosion. The protection for the slopes shall be installed as soon as practicable and prior to requesting final approval.  
**NO GRADING WITHIN 2' OF PROPERTY LINES**



The property owner shall be responsible to verify fire sprinkler requirements with the governing fire district

Provide at least one window or exterior door approved for emergency escape or rescue for every room used for sleeping purposes. 2018 IRC R310.1

**IMPORTANT!**  
Footings will not be inspected until the property corners are properly pinned, flagged and easily identifiable to the building inspector.

Interconnected smoke detectors are required for this project per 2018 IRC R314.3.1. Each sleeping room, outside each sleeping room and on each floor level.

APPROVAL IS SUBJECT  
TO FIELD INSPECTION  
AND COMPLIANCE WITH  
ALL RELEVANT CODES,  
LAWS AND ORDINANCES

RAIN GUTTERS & DOWNSPOUTS  
ARE REQUIRED

Positive drainage away from the structure is required. Refer to the geotechnical report for an additional requirements

Reviewed for  
Design Criteria Only

No slab grade or floor framing inspections will be conducted without compaction reports.

Slab insulation shall be approved for the under slab application. Provide an ES Report and manufacturer's specifications if not using the pre-approved products below:  
1. Extruded polystyrene insulation Dow square edge (Blue)  
2. Extruded polystyrene Owen corning Foamular 250 (Pink)

Truss calculations to be on site at the time of frame inspection

Per 2018 YCABC Ordinance  
2014-1 Section 110.3.4:  
Pre-slab inspections are required

BIG  
STAMP



REVIEWED FOR DESIGN  
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SEE ATTACHED COVER SHEET FOR ALL  
STAMPS. IT IS THE RESPONSIBILITY OF THE  
OWNER/APPLICANT TO REVIEW AND  
ACKNOWLEDGE APPLICABLE STAMPS.

BOARD OF SUPERVISORS

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JEREMY DYE, DIRECTOR  
MARK LUSSON, ASSISTANT DIRECTOR  
WARREN COLVIN, CHIEF BUILDING OFFICIAL

HOME OF MY OWN  
Phase Two  
Single-Family Housing  
TWO BEDROOM / TWO BATH - RIGHT PARKING  
for

YAVAPAI COUNTY  
1015 Fair Street  
Prescott, Arizona

INDEX TO DRAWINGS

CS	COVER SHEET W/ PROJECT INFORMATION
A-1.0	FLOOR PLANS / OPENING SCHEDULES
A-2.0	FOUNDATION PLANS
A-3.0	ROOF FRAMING PLANS
A-4.0	BRACE WALL PLANS
A-5.0	EXTERIOR ELEVATIONS
A-6.0	BUILDING SECTIONS
A-7.0	DETAILS
M-1.0	MECHANICAL
E-1.0	ELECTRICAL

PROJECT INFORMATION

ALL WORK SHALL CONFORM TO ALL YAVAPAI COUNTY  
ADOPTED CODES, ORDINANCES AND POLICIES,  
INCLUDING BUT NOT LIMITED TO THE FOLLOWING:  
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2018 INTERNATIONAL PLUMBING CODE (IPC)  
2018 INTERNATIONAL MECHANICAL CODE (IMC)  
2017 NATIONAL ELECTRIC CODE (NEC)  
2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

LIVABLE:	1,080 SQ. FT.
CARPORT/ALT. GARAGE:	517 SQ. FT.
COVERED ENTRY:	144 SQ. FT.
TOTAL UNDER ROOF:	1,741 SQ. FT.

OPTION WITHOUT GARAGE, OR CARPORT:	
LIVABLE:	1,080 SQ. FT.
COVERED ENTRY:	144 SQ. FT.
TOTAL UNDER ROOF:	1,224 SQ. FT.

OCCUPANCY: R-3 (Single-Family Residential)  
CONSTRUCTION TYPE: V-B

THESE HOMES WERE DESIGNED FOR A MAXIMUM ELEVATION OF 6200 FEET  
(40 LB. SNOW LOAD). THEY WERE NOT DESIGNED FOR A TILE ROOF.

GENERAL NOTES

1. DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE  
ACCURATE TO SCALE. DIMENSIONS ARE NOT TO BE  
SCALED FROM THE WORKING DRAWINGS.
2. BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK,  
CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING  
CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE  
CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR  
UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION  
OF YAVAPAI COUNTY DEVELOPMENT SERVICES.
3. GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB  
OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.
4. GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING  
OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.
5. DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT  
DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBILITY OF THE GENERAL  
CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE  
EXPENSE OF THE SAME.
6. VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH,  
REGULAR FINISH WITH NO IRREGULARITIES.
7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THOROUGHLY REVIEW THE  
PLANS AND TO NOTIFY YAVAPAI COUNTY DEVELOPMENT SERVICES OF ANY DISCREPANCIES.  
YAVAPAI COUNTY NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR  
MATERIALS IMPROPERLY ORDERED OR INSTALLED.
8. FAILURE BY THE GENERAL CONTRACTOR, OR SUB-CONTRACTORS, TO AQUAINT THEM-  
SELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT  
SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR  
WORK PROPERLY.
9. APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION  
BY YAVAPAI COUNTY PERSONNEL.
10. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW, OR DOOR,  
FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.



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COVER SHEET  
PHASE TWO – 2 BDRM / 2 BATH – RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:  
CS

Job no. : 2BDRM/2BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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DOOR SCHEDULE

		H.	T.	DOOR TYPE	REMARKS
101	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	
102	2'-6"	6'-8"	1-3/4"	SOLID-CORE FLUSH WOOD	IF USING GAS WATER HEATER, PROVIDE 12" X 12" VENTS, ONE AT THE TOP, AND BOTTOM OF DOOR
103	3'-0"	6'-8"	1-3/4"	SOLID-CORE FLUSH WOOD	
104	3'-0"	6'-8"	1-3/8"	SOLID-CORE FLUSH WOOD	SELF-CLOSING & SELF-LATCHING
105	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
106	2'-6"	6'-8"	1-1/8"	BI-FOLD	
107	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
108	5'-0"	6'-8"	1-1/8"	SLIDING BI-PASS	
109	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
110	5'-0"	6'-8"	1-1/8"	BI-FOLD	
111	2'-6"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
112	2'-4"	6'-8"	1-3/8"	INTERIOR HOLLOW CORE	
113	5'-0"	6'-8"	1-3/8"	SLIDING BI-PASS	
114	16'-0"	7'-0"	-	OVERHEAD GARAGE DOOR	
115	3'-0"	6'-8"	1-3/4"	SOLID-CORE WOOD	

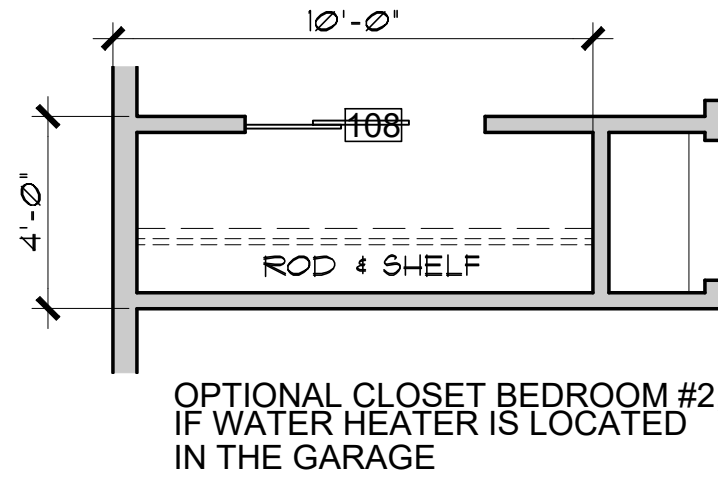
WINDOW SCHEDULE (8' plate height)

WIN.	SIZE	TYPE	REMARKS
A	4040	XO	EGRESS AT BEDROOM
B	3030	XO	
C	3010	XO	
D	3040	XO	

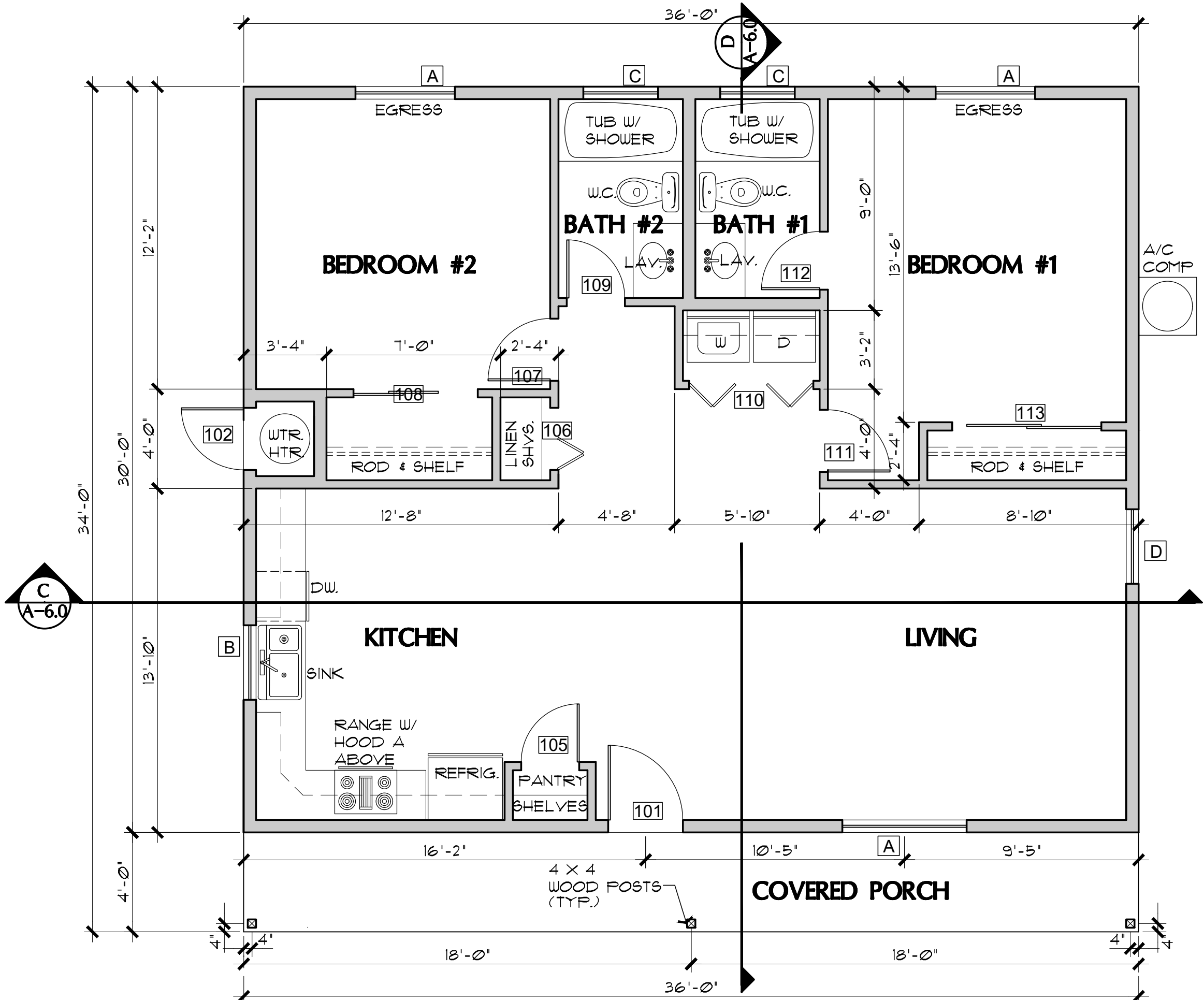
WINDOW SCHEDULE (9' plate height)

WIN.	SIZE	TYPE	REMARKS
A	4050	XO	EGRESS AT BEDROOM MUST HAVE MAX. 44" SILL HEIGHT ABOVE FLOOR
B	3030	XO	
C	3010	XO	
D	3040	XO	

NOTE: FENESTRATION IN ZONE 2 (ELEVATIONS BELOW 3500 FT.) SHALL HAVE A MAXIMUM U-FACTOR OF 0.75, AND A MAXIMUM FENESTRATION SHGC FACTOR OF 0.40. FENESTRATION IN ZONE 4 (ELEVATIONS 3500 FT. AND ABOVE) SHALL HAVE A MAXIMUM U-FACTOR OF 0.40. THE SHGC FACTOR IN ZONE 4 IS NOT APPLICABLE.

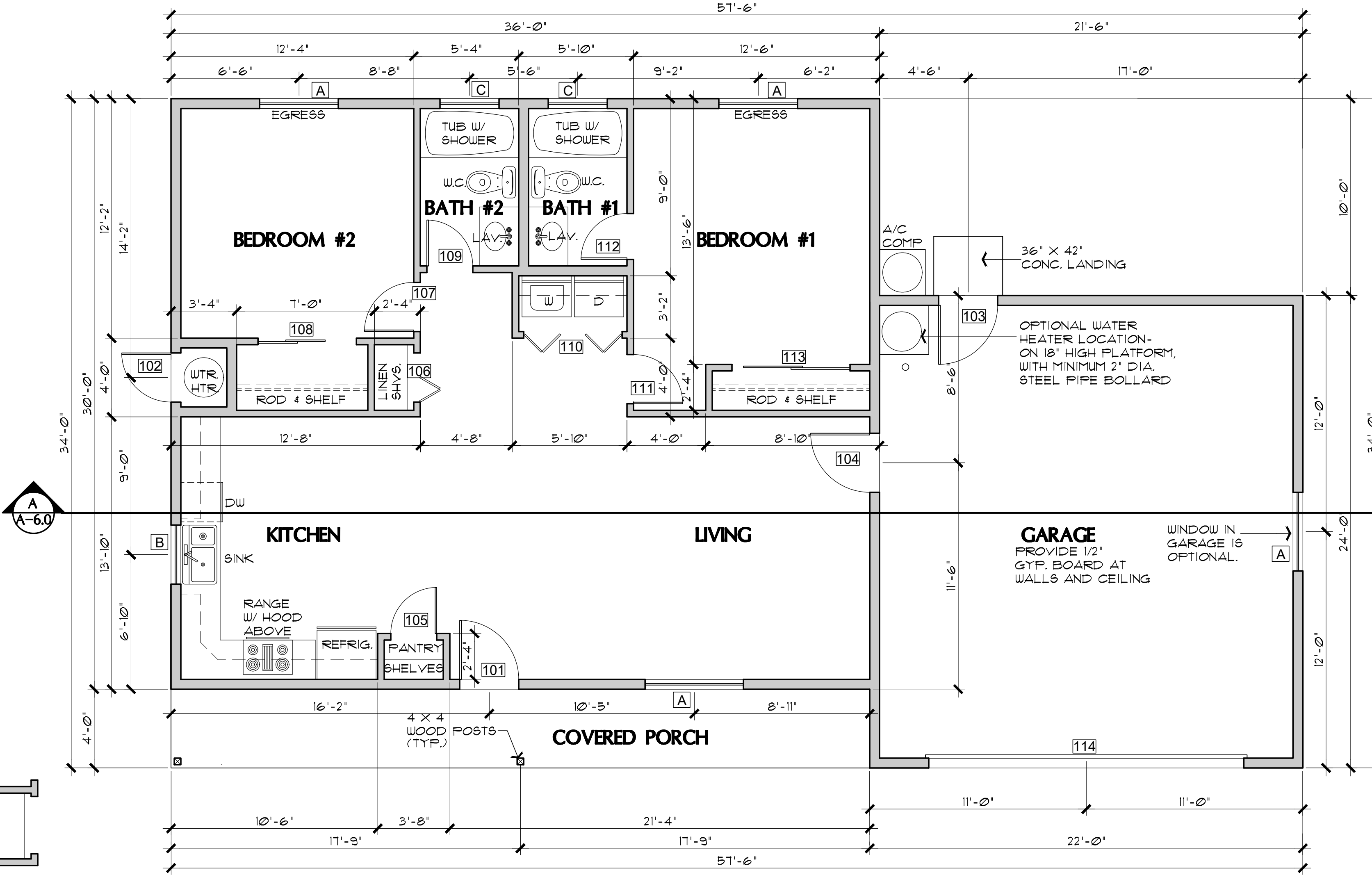


OPTIONAL CLOSET BEDROOM #2,  
IF WATER HEATER IS LOCATED  
IN THE GARAGE



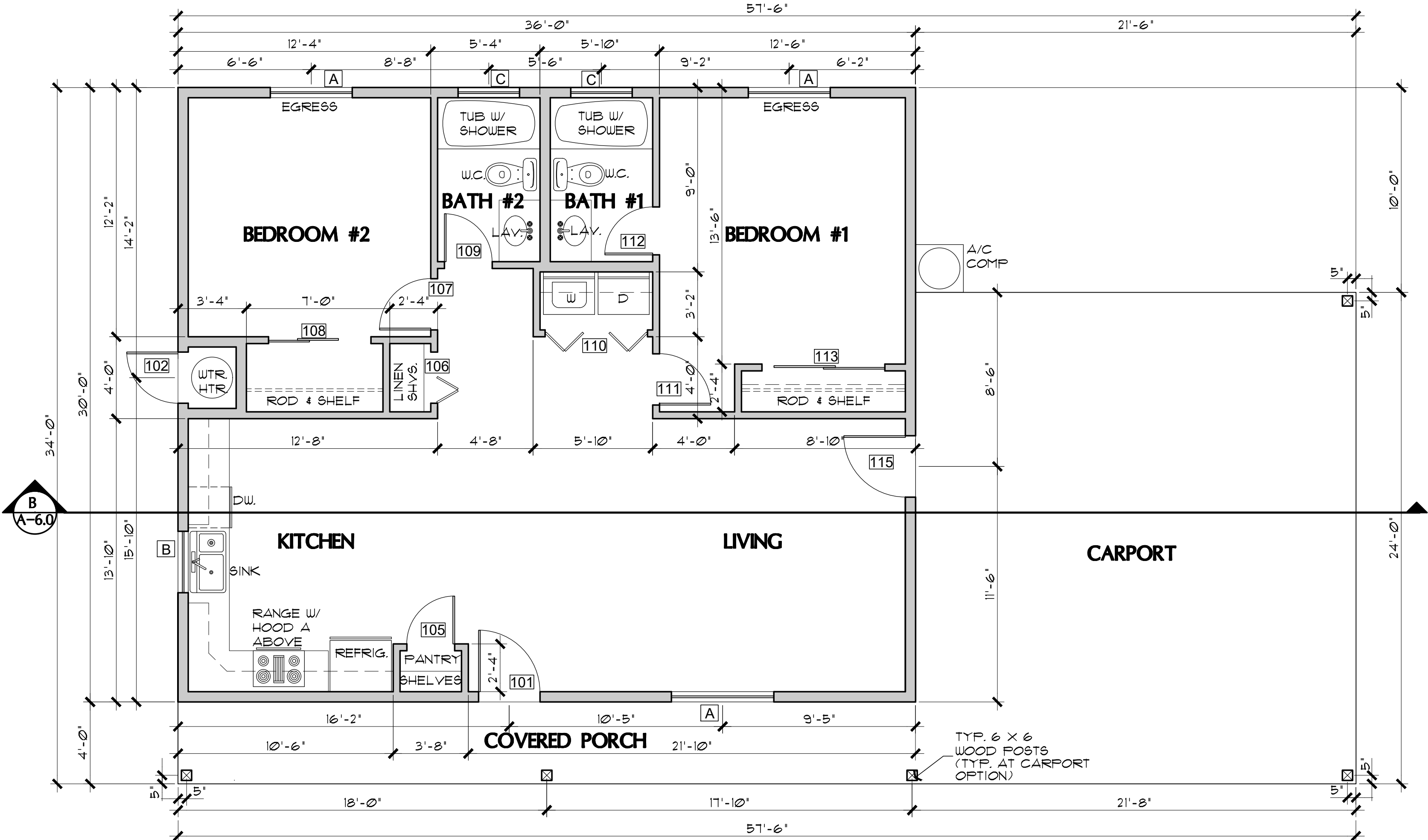
FLOOR PLAN (without Garage or Carport option)

SCALE: 1/4" = 1'-0"



FLOOR PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

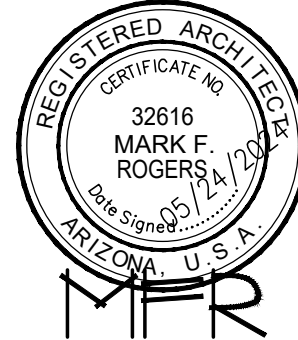


FLOOR PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

Job no. : 2BDRM/2BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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FLOOR PLANS /  
OPENING SCHEDULES  
PHASE TWO - 2 BDRM / 2 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

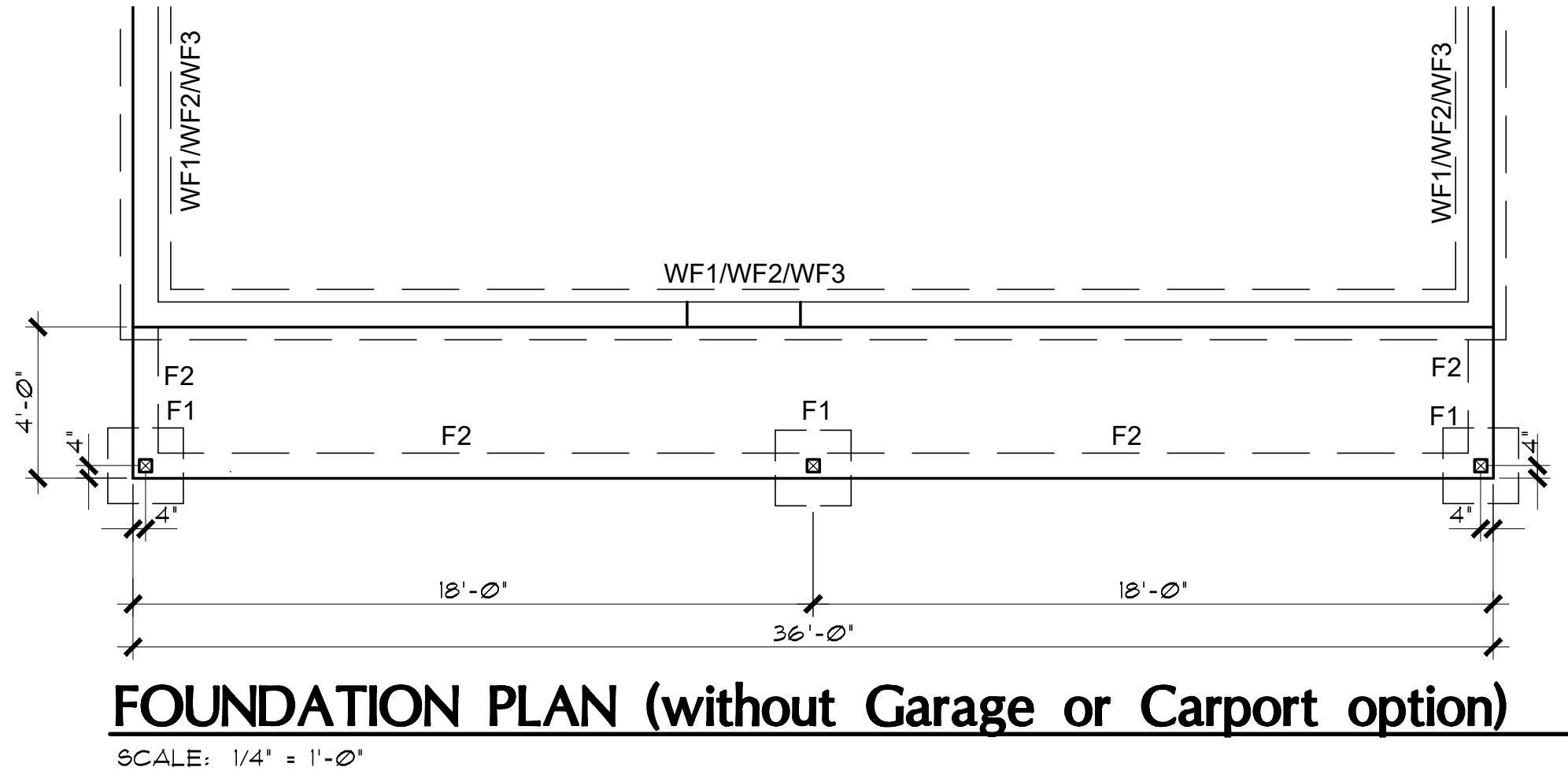
1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

A-1.0

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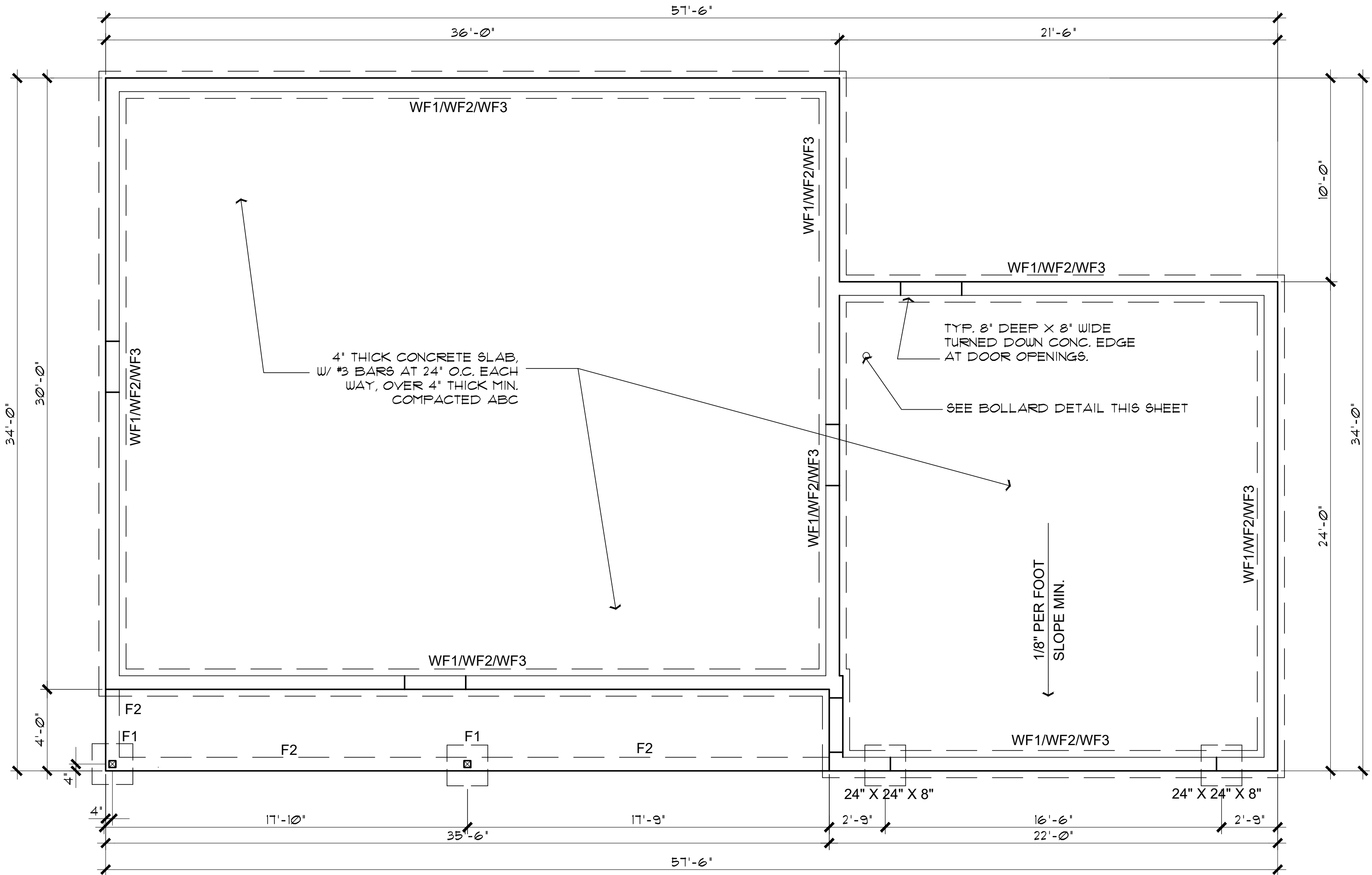
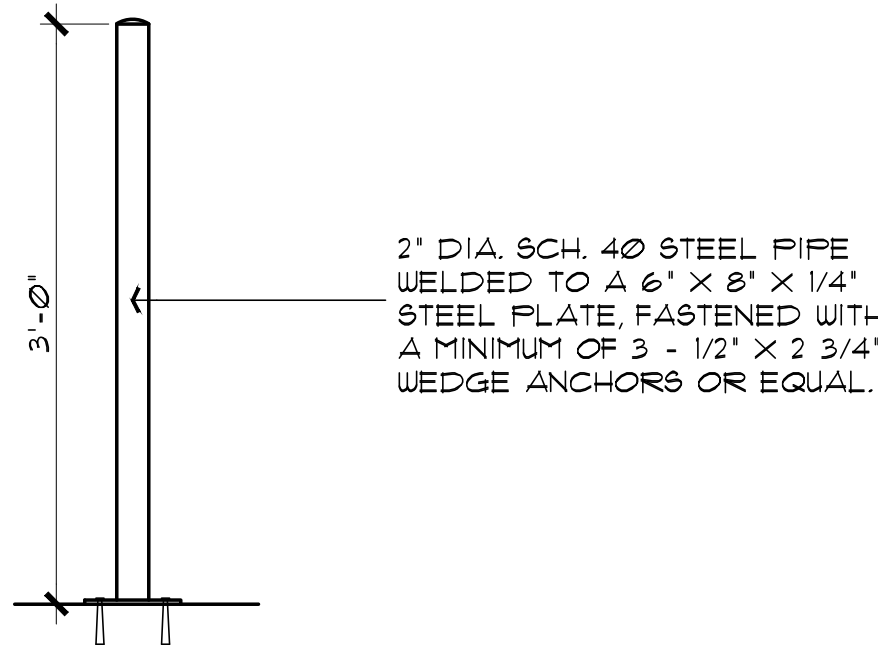


### FOUNDATION NOTES

1. FOOTINGS TO BE A MIN. OF 8" THICK IN 18" MIN. UNDISTURBED SOIL.
2. FOOTINGS AND INTERIOR FLATWORK TO BE MIN. 2500 P.S.I. MIN COMPRESSIVE STRENGTH AT 28 DAYS.
3. FOUNDATION SUPPORTED WOOD TO EXTEND MIN. 6" ABOVE FINISH GRADE
4. FOUNDATION PLATES AND SILLS SHALL BE BOLTED TO FOUNDATION WITH MIN. 1/2" BOLTS 6'-0" O.C., 12" FROM CORNERS AND EMBEDDED 7" INTO FOUNDATION WALL
5. EXTERIOR FLATWORK SLOPE TO BE 1/4" PER FOOT.
6. CONTRACTOR TO EMBED 20' OF #4 G.A. COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND.
7. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
8. ALL EXTERIOR PLATES, LOAD BEARING AND NON LOAD BEARING SHALL BE PRESSURE TREATED, LESS THAN 8" ABOVE GRADE
9. FILL BEING PLACED THAT EXCEEDS 2' WILL REQUIRE A CERTIFIED COMPACTION TEST AND REPORT.

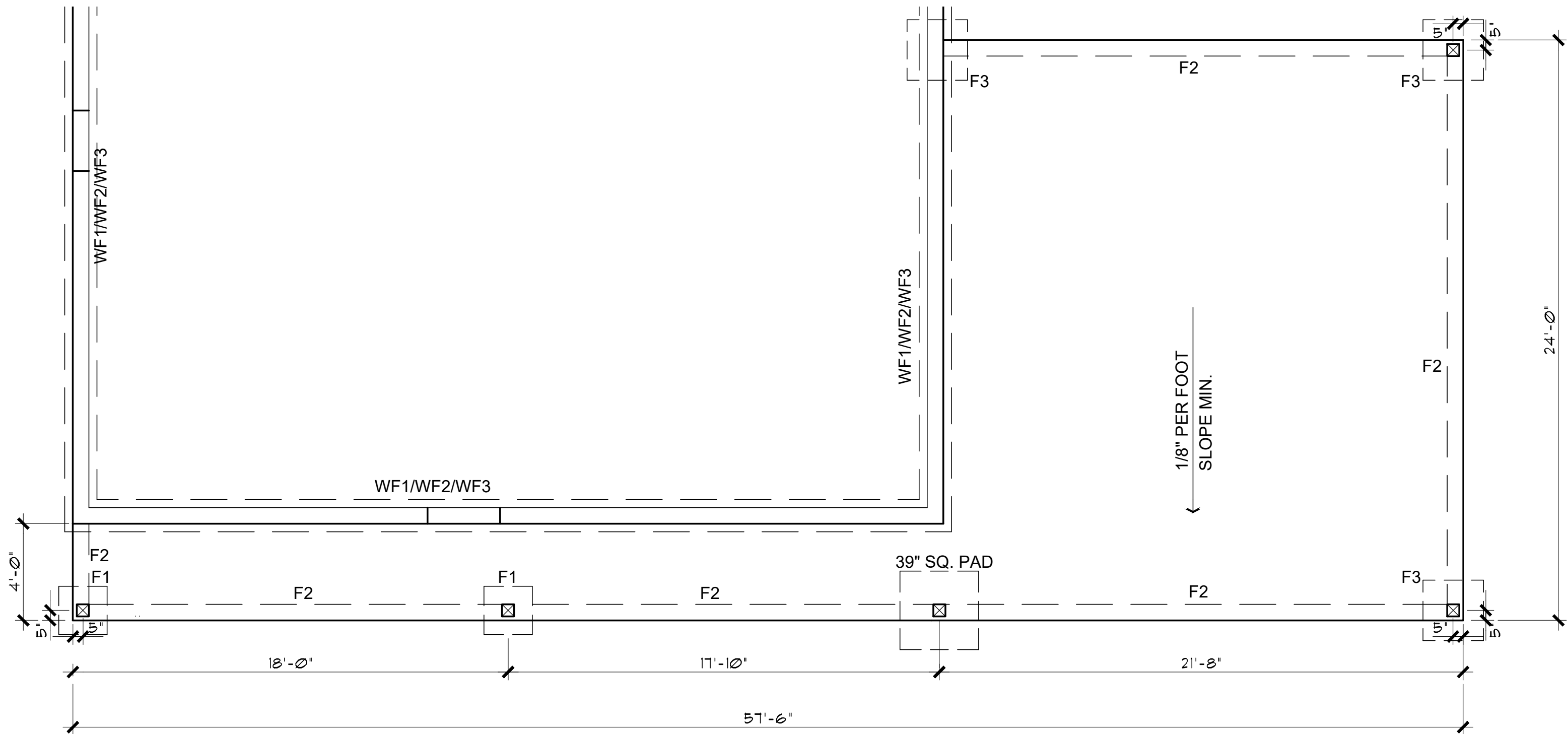
NOTE: THE FOOTINGS SIZE, THICKNESS, AND BOTTOM OF FOOTING DEPTH SHALL BE PER THE GEOTECHNICAL REPORT/ENGINEER'S REQUIREMENTS. THIS SHALL INCLUDE ANY OVER EXCAVATIONS, ENGINEERED PAD REQUIREMENTS, AND/OR A CHANGE IN DEPTH, AND TYPE OF BASE COURSE UNDER THE CONCRETE SLABS.

### SEE SHEET A-7.0 FOR FOOTING DETAILS



### FOUNDATION PLAN (with Garage option)

SCALE: 1/4" = 1'-0"



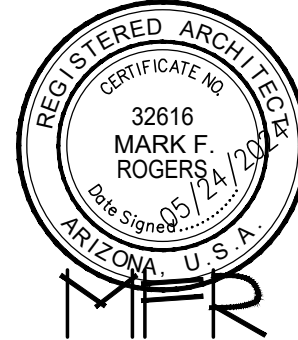
### FOUNDATION PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

Job no. : 2BDRM/2BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
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FOUNDATION PLANS  
PHASE TWO - 2 BDRM / 2 BATH - RIGHT PARKING

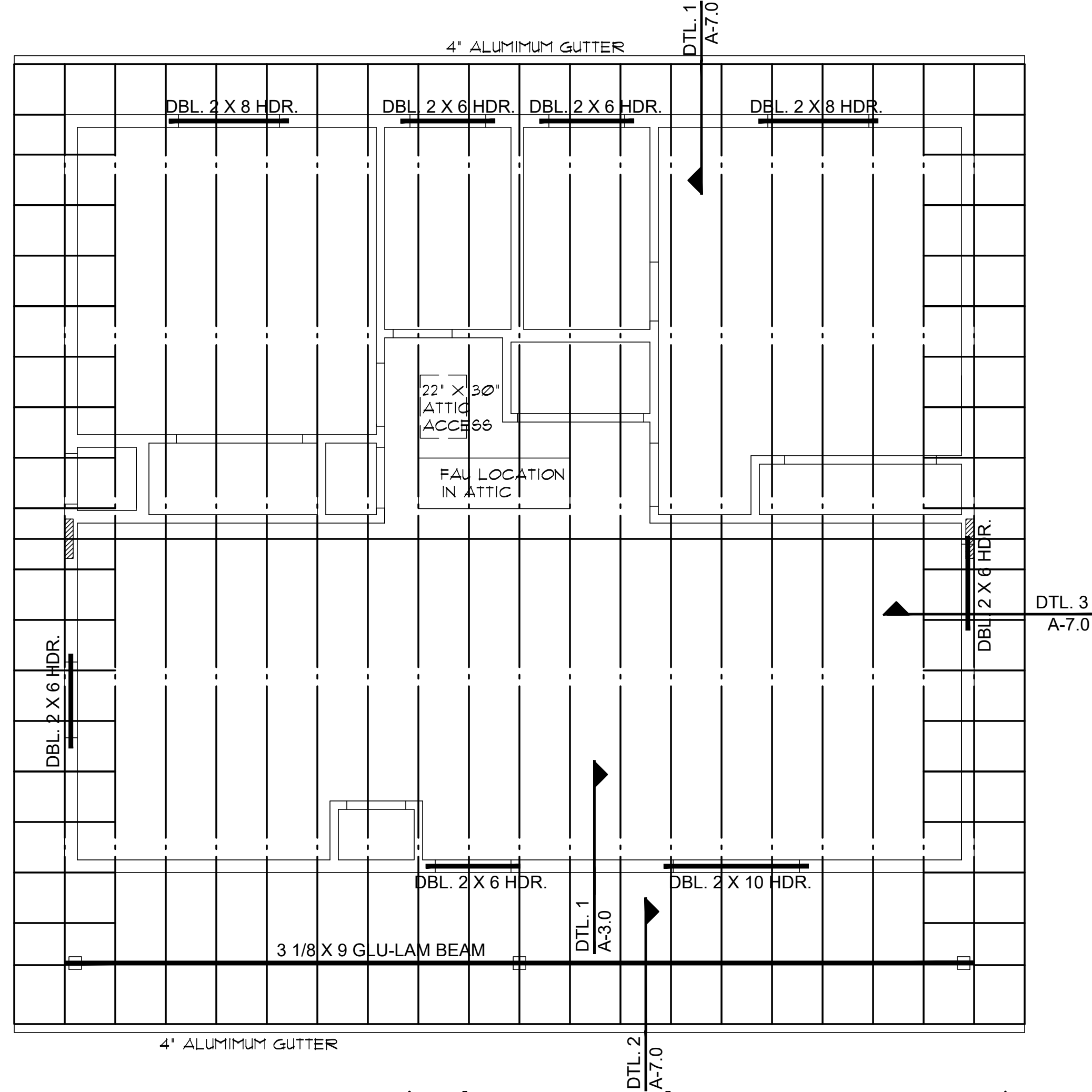
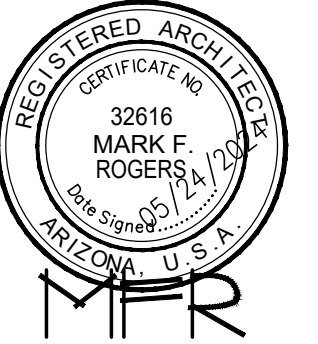
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

A-2.0

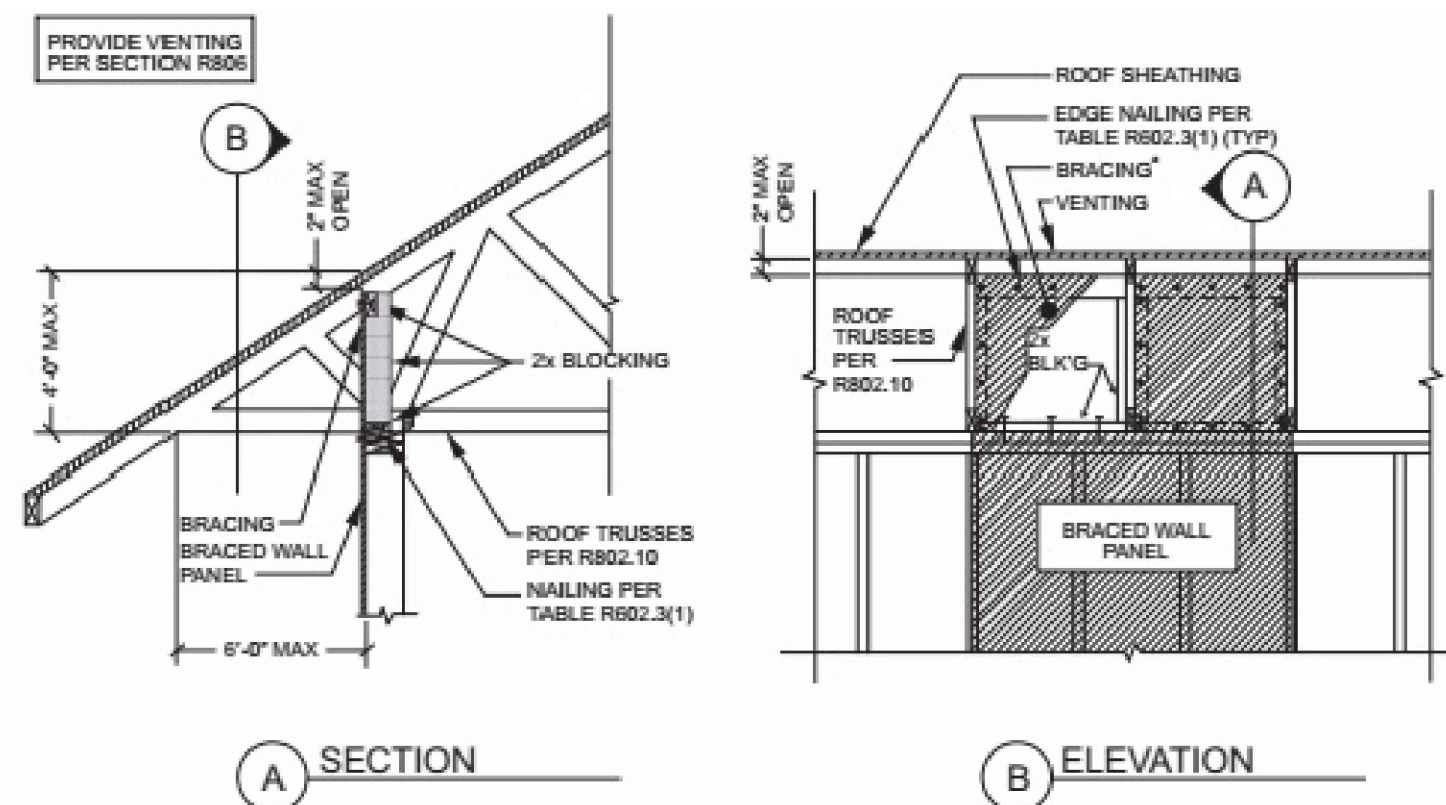




**ROOF FRAMING PLAN (without optional Garage, or Carport)**

SCALE: 1/4" = 1'-0"

ROOF VENTILATION  
REQUIRED 1224 SQ. FT. / 300 = 4 SQ. FT. (864 SQ. IN.)  
USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT  
288 SQ. IN. AT GABLE ENDS  
288 SQ. IN. MIN. BIRDBLOCKS TO PROVIDE FOR LOW VENTILATION



## 1 BRACED WALL PANEL CONNECTION OPTION AT PERPENDICULAR ROOF TRUSSES

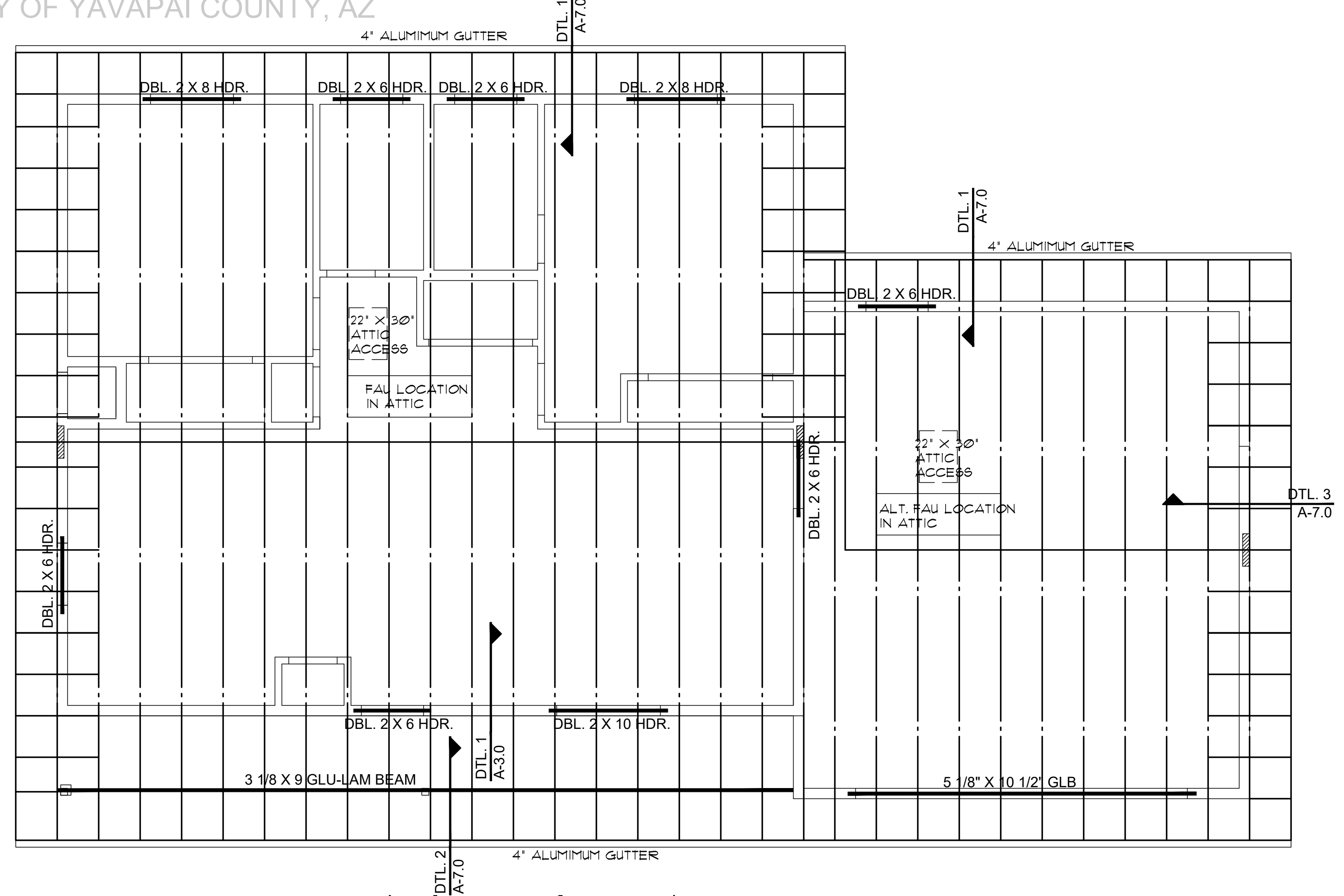
SCALE: 1 1/2" = 1'-0"

2018 IRC FIGURE R602.10.8.2(3)

## ROOF NOTES

1. REFER TO TRUSS CALCULATIONS FOR FINAL ROOF FRAMING DESIGN.
2. SIMPSON'S H25A HANGERS TO BE APPLIED @ ALL TRUSS ENDS
4. ROOF SHEATHING TO BE 1/2" CDX PLYWOOD OR OSB.
5. SUPPORTED MEMBERS OF G.L.B. & GIRDERS OR OTHER CONCENTRATED LOADS SUPPORTED BY WALL OR PIER SHALL HAVE BEARING AT LEAST AS WIDE AS THE ROOF MEMBER
6. ROOF PITCH 4:12 (TYP.).
7. OVERHANGS TO BE 24".
8. FURNACE IN ATTIC: PROVIDE A 24" SOLID PASSAGEWAY TO CONTROL SIDE OF ATTIC AND 30" SERVICE PASSAGEWAY ON THE CONTROL SIDE OF THE AFFLIANCE (REQUIRED FOR ATTIC MOUNT FURNACES)
9. ALL RAFTERS SHALL BE DOUGLAS FIR #2 (SIZE PER PLAN) ALL STUDS SHALL BE HEM FIR #2 (SIZE PER PLAN)

**SEE ROOF FRAMING DETAILS SHEET A7.0**

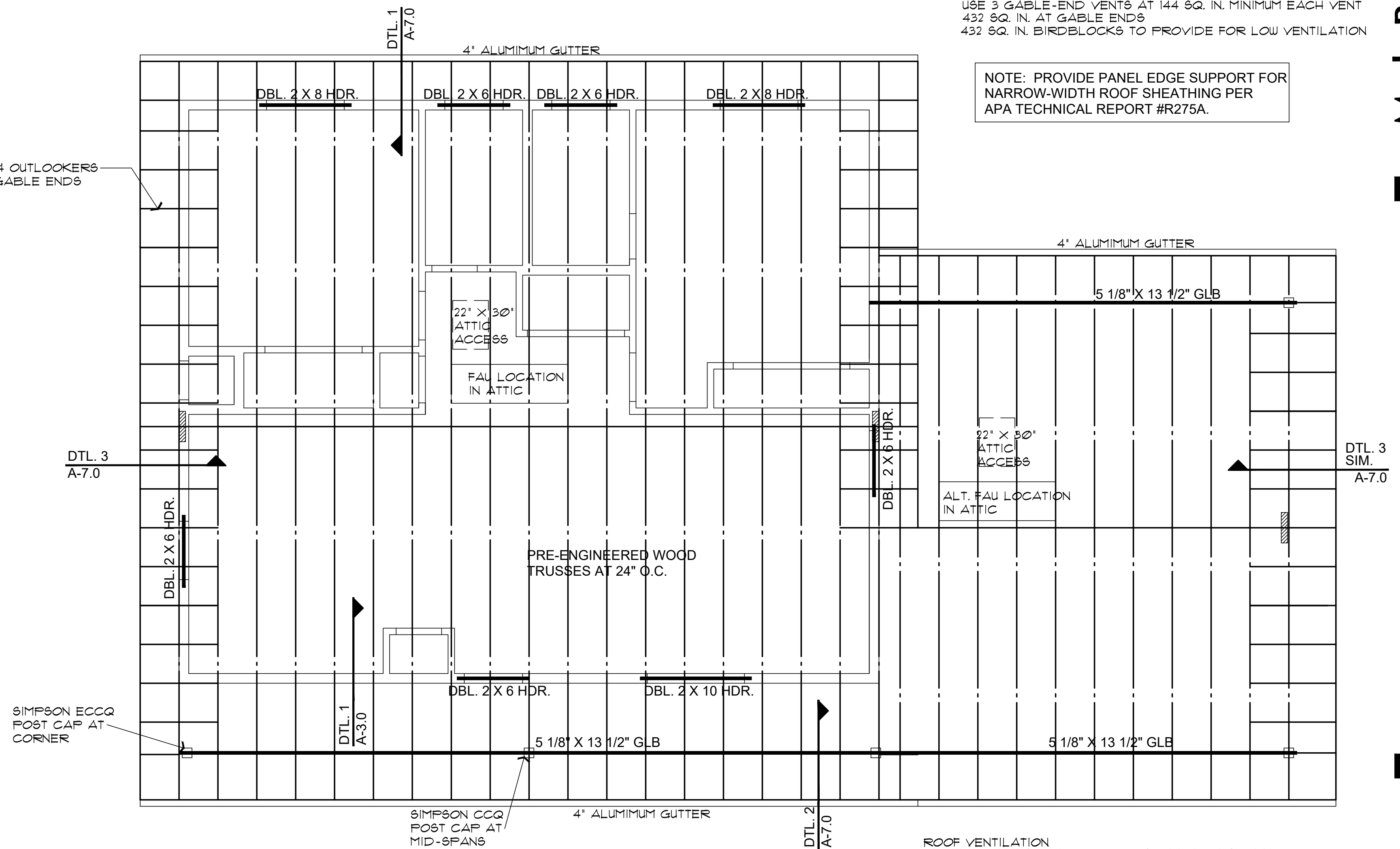


## ROOF FRAMING PLAN (with optional Garage)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION  
REQUIRED 1741 SQ. FT. / 300 = 6 SQ. FT. (864 SQ. IN.)  
USE 3 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT  
432 SQ. IN. AT GABLE ENDS  
432 SQ. IN. BIRDBLOCKS TO PROVIDE FOR LOW VENTILATION

NOTE: PROVIDE PANEL EDGE SUPPORT FOR NARROW-WIDTH ROOF SHEATHING PER APA TECHNICAL REPORT #R275A.



## ROOF FRAMING PLAN (with optional Carport)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION  
REQUIRED 1741 SQ. FT. / 300 = 6 SQ. FT. (866 SQ. IN.)  
USE 3 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT  
432 SQ. IN. AT GABLE ENDS  
8 O'HAGIN OR OTHER EQUAL LOW VENTS AT 72 SQ. IN. EACH  
432 SQ. IN. BIRDBLOCKS TO PROVIDE FOR LOW VENTILATION



REVIEWED FOR DESIGN  
CRITERIA ONLY

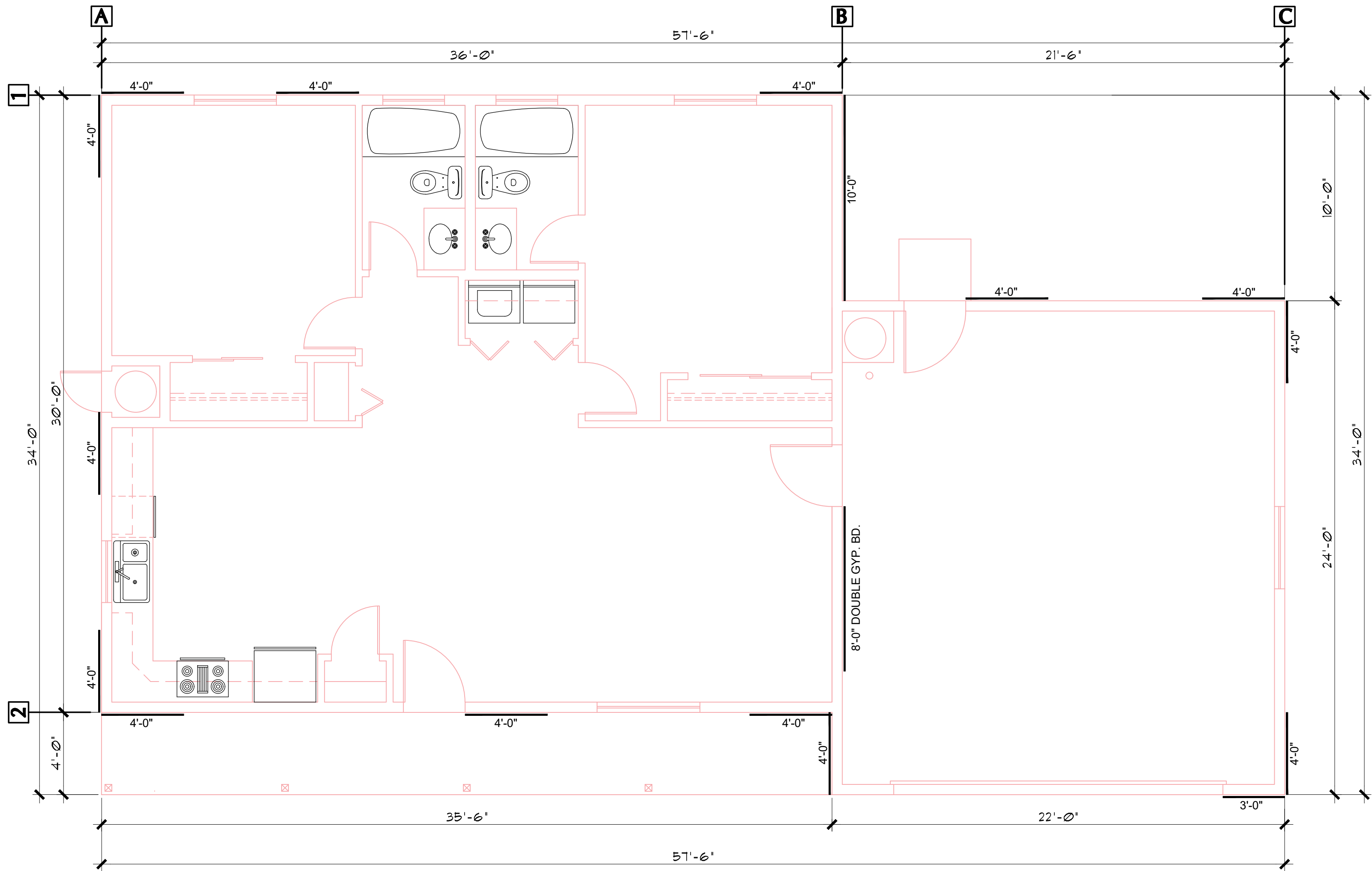
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PROPERTY OF YAVAPAI COUNTY, AZ

WIND SPEED (MPH)		115		115		115		115		115		
BRACED WALL LINE		A		B		C						
STORY												
BRACED WALL PANEL METHOD		CS-VSP CS-PF CS-G		GB		CS-VSP CS-PF CS-G						
AVG BWL SPACING (ft)		34		34		24						
TABULAR REQUIRED (ft)		5.10		10.70		3.90						
ADJUSTMENT	EXPOSURE	C	1.20	C	1.20	C	1.20	C		C		
	EAVE-RIDGE HT (ft)	6.00	0.76	6.00	0.76	6.00	0.76					
	STORY HEIGHT (ft)	9.00	0.95	9.00	0.95	9.00	0.95					
	# BWLs	3.00	1.30	3.00	1.30	3.00	1.30					
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00	NO	1.00					
	OMIT INTERIOR GB	NO	1.00	NO	1.00	NO	1.00					
	METHOD GB FASTEN @ 4" o.c	NO	1.00	NO	1.00	NO	1.00					
HORIZONTAL BLOCKING OMITTED	NO	1.00	NO	1.00	NO	1.00						
REQUIRED BWP LENGTH (ft)		5.74		12.05		4.39						
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	10.00	CS-WSP	4.00				
		2	CS-WSP	4.00	DS-GB	8.00	CS-WSP	4.00				
		3	CS-WSP	4.00	CS-WSP	4.00						
		4										
		5										
		6										
		7										
		ACTUAL BWP LENGTH (ft)		12.00		22.00		8.00				
ACTUAL ≥ REQUIRED		YES		YES		YES						
SPACE	BWPs ≤ 20' APART	YES		YES		YES						
	Length of BWL (ft)	30		34		24						
# of BWPs	BWP 1 ≤ 16', 2 > 16'	YES		YES		YES						
	BWP WITHIN 10' OF END	YES	YES	YES	YES	YES	YES					
ENDS	CONTINUOUS END CONDITION	3	3	3	3	3	3					
	BWL COMPLIANCE PASS-FAIL	PASS		PASS		PASS						

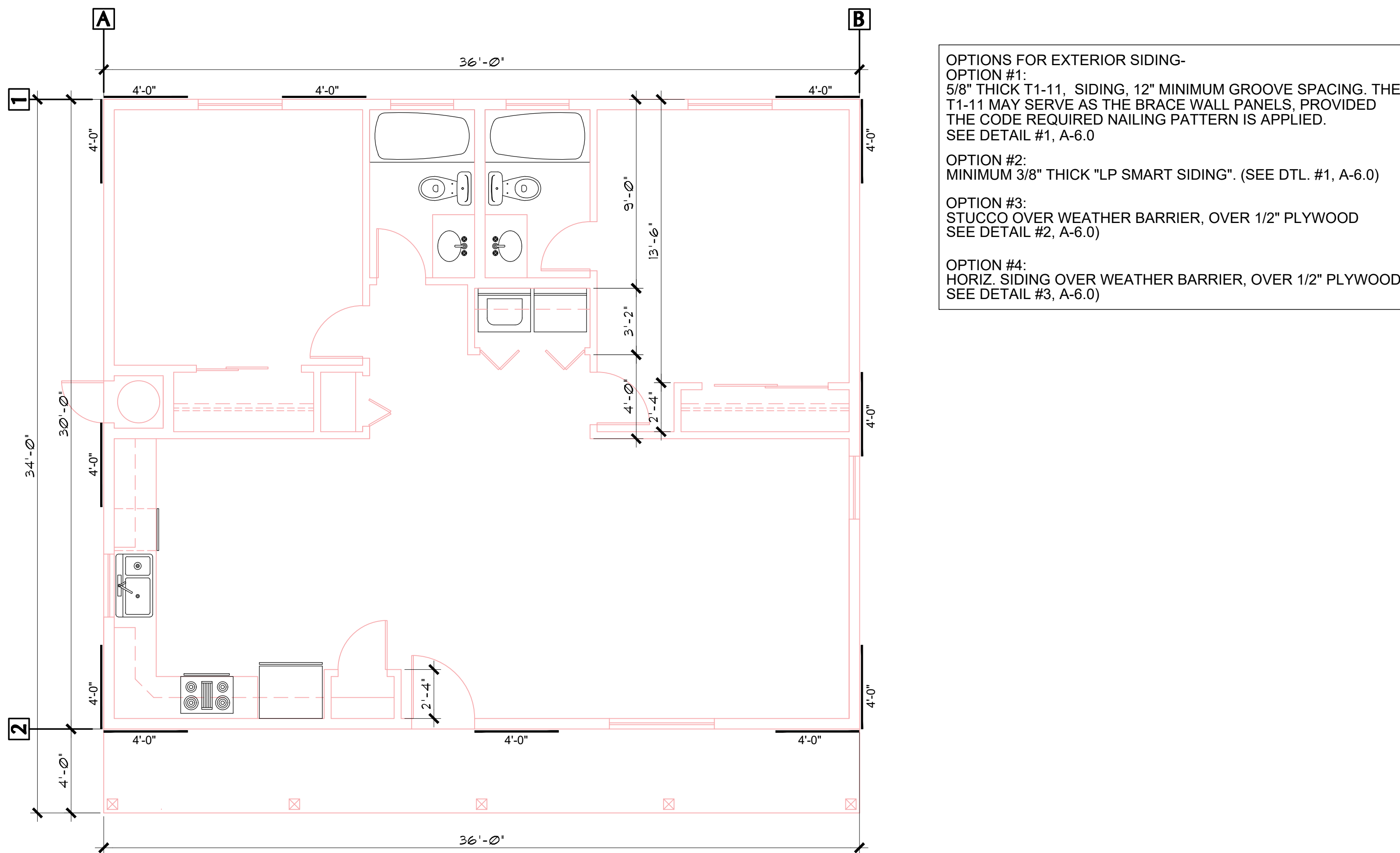
WIND SPEED (MPH)		115		115		115		115		115		
BRACED WALL LINE		1		2				A		B		
STORY												
BRACED WALL PANEL METHOD		CS-VSP CS-PF CS-G		CS-VSP CS-PF CS-G				CS-VSP CS-PF CS-G		CS-VSP CS-PF CS-G		
AVG BWL SPACING (ft)		36		36				30		30		
TABULAR REQUIRED (ft)		5.40		5.40				4.50		4.50		
ADJUSTMENT	EXPOSURE	C	1.20	C	1.20	C		C	1.20	C	1.20	
	EAVE-RIDGE HT (ft)	6.00	0.76	6.00	0.76			6.00	0.76	6.00	0.76	
	STORY HEIGHT (ft)	9.00	0.95	9.00	0.95			9.00	0.95	9.00	0.95	
	# BWLs	2.00	1.00	2.00	1.00			2.00	1.00	2.00	1.00	
	ADD PAIR 800# HOLD DOWNS	NO	1.00	NO	1.00			NO	1.00	NO	1.00	
	OMIT INTERIOR GB	NO	1.00	NO	1.00			NO	1.00	NO	1.00	
	METHOD GB FASTEN @ 4" o.c	NO	1.00	NO	1.00			NO	1.00	NO	1.00	
	HORIZONTAL BLOCKING OMITTED	NO	1.00	NO	1.00			NO	1.00	NO	1.00	
REQUIRED BWP LENGTH (ft)		4.68		4.68				3.90		3.90		
ACTUAL BWP	CONTRIBUTING LENGTH	BWP	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)	METHOD	LENGTH (ft)
		1	CS-WSP	4.00	CS-WSP	4.00			CS-WSP	4.00	CS-WSP	4.00
		2	CS-WSP	4.00	CS-WSP	4.00			CS-WSP	4.00	CS-WSP	4.00
		3	CS-WSP	4.00	CS-WSP	4.00			CS-WSP	4.00	CS-WSP	4.00
		4										
		5										
		6										
		7										
ACTUAL BWP LENGTH (ft)		12.00		12.00				12.00		12.00		
ACTUAL ≥ REQUIRED		YES		YES				YES		YES		
SPACE	BWPs ≤ 20' APART	YES		YES				YES		YES		
	Length of BWL (ft)	30		30				36		36		
# of BWPs	BWP 1 ≤ 16', 2 ≥ 16'	YES		YES				YES		YES		
	BWP WITHIN 10' OF END	YES	YES	YES	YES			YES	YES	YES	YES	
ENDS	CONTINUOUS END CONDITION	3	3	3	3			3	3	3	3	
	BWL COMPLIANCE PASS-FAIL	PASS		PASS				PASS		PASS		

PROPERTY OF YAVAPAI COUNTY, AZ



BRACE WALL PLAN (with Garage option)

SCALE: 1/4" = 1'-0"



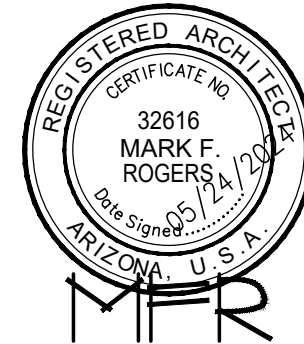
BRACE WALL PLAN (same as with Carport option)

SCALE: 1/4" = 1'-0"

PROPERTY OF YAVAPAI COUNTY, AZ

Job no. : 2BDRM/2BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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BRACE WALL PLANS /

CALCULATIONS  
PHASE TWO - 2 BDRM / 2 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

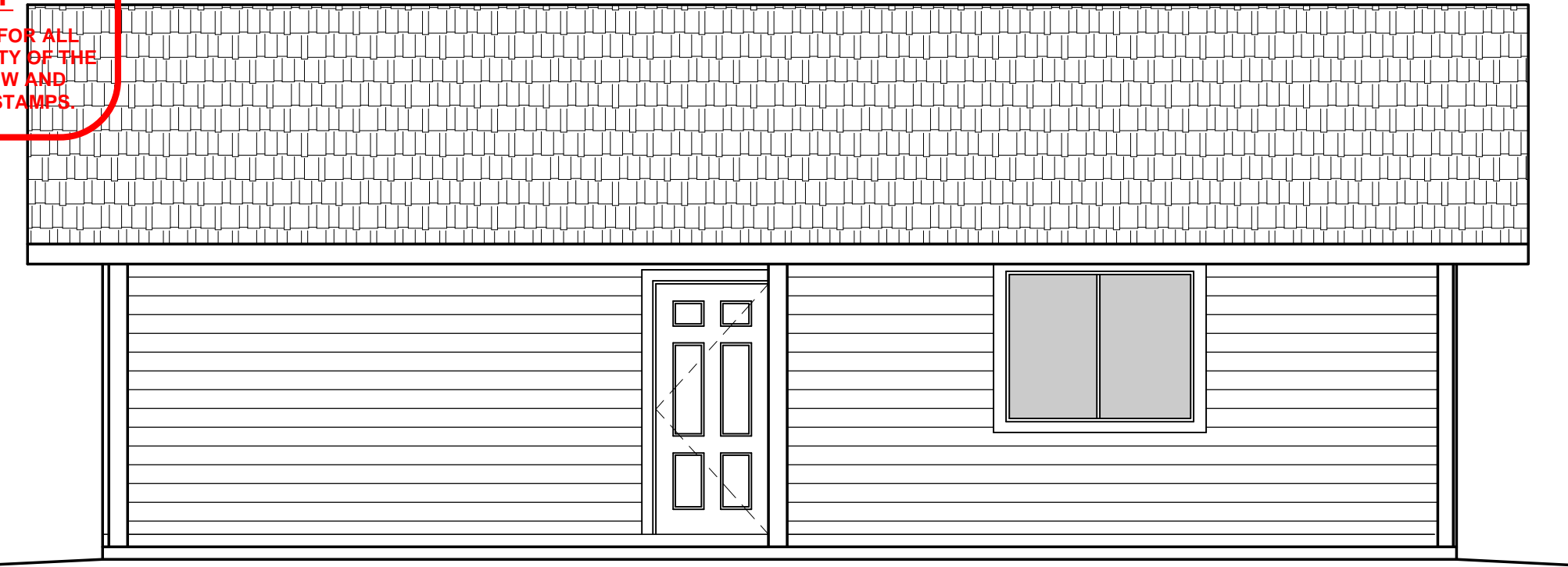
SHEET NO:

A-4.0



REVIEWED FOR DESIGN  
CRITERIA ONLY

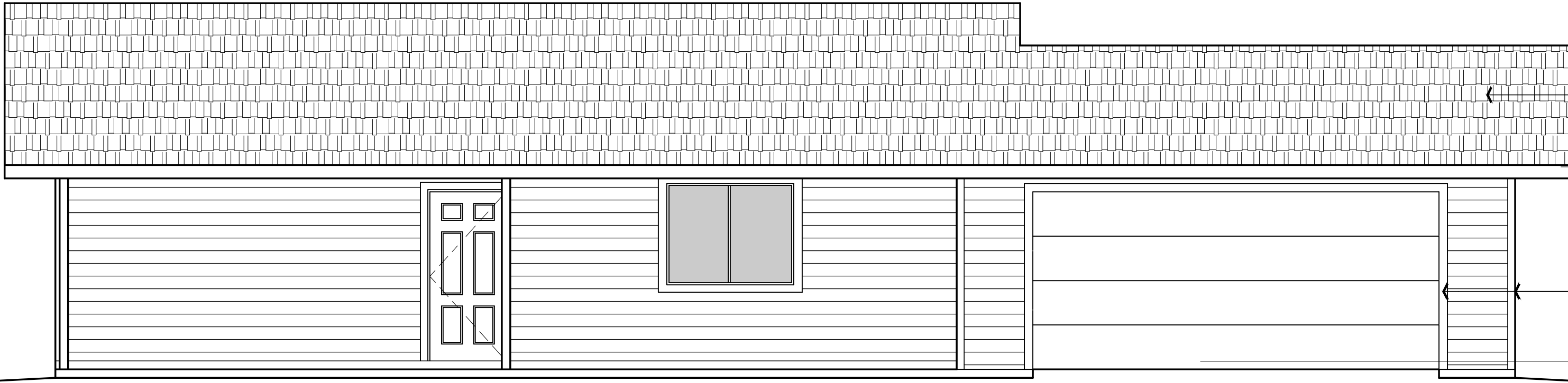
SEE ATTACHED COVER SHEET FOR ALL  
STAMPS. IT IS THE RESPONSIBILITY OF THE  
OWNER/APPLICANT TO REVIEW AND  
ACKNOWLEDGE APPLICABLE STAMPS.



FRONT ELEVATION (without optional Garage or Carport)

SCALE: 1/4" = 1'-0"

PROPERTY OF YAVAPAI COUNTY, AZ



FRONT ELEVATION (with optional Garage)

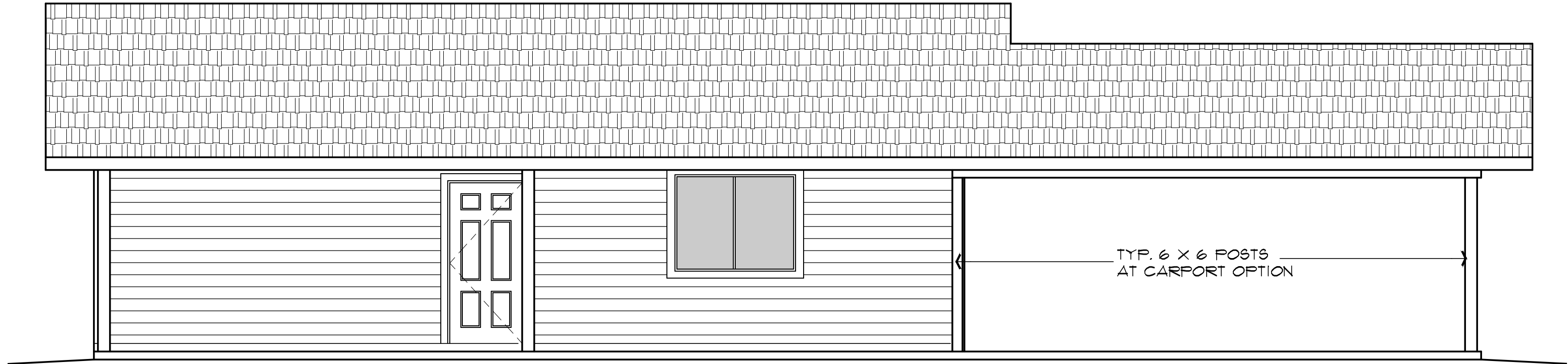
SCALE: 1/4" = 1'-0"

ASHPALT SHINGLES  
OR METAL ROOF PANELS

8'-1" OR 9'-1"  
TOP OF PLATE

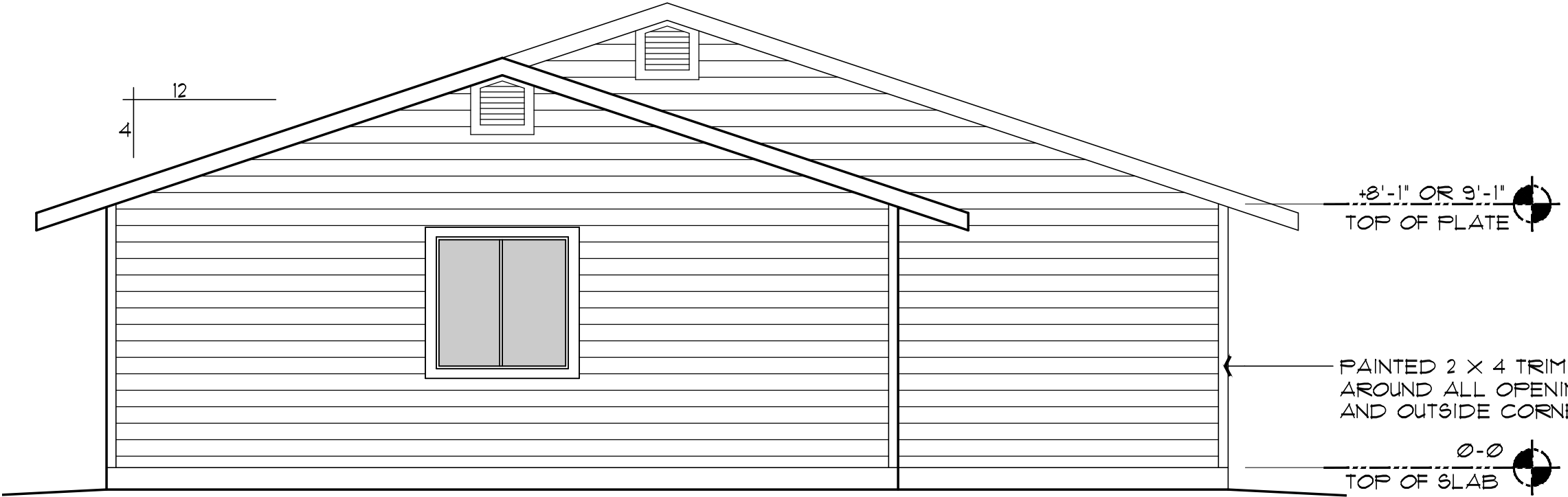
PAINTED 2 X 4 TRIM  
AROUND ALL OPENINGS  
AND OUTSIDE CORNERS

0'-0"  
TOP OF SLAB



FRONT ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



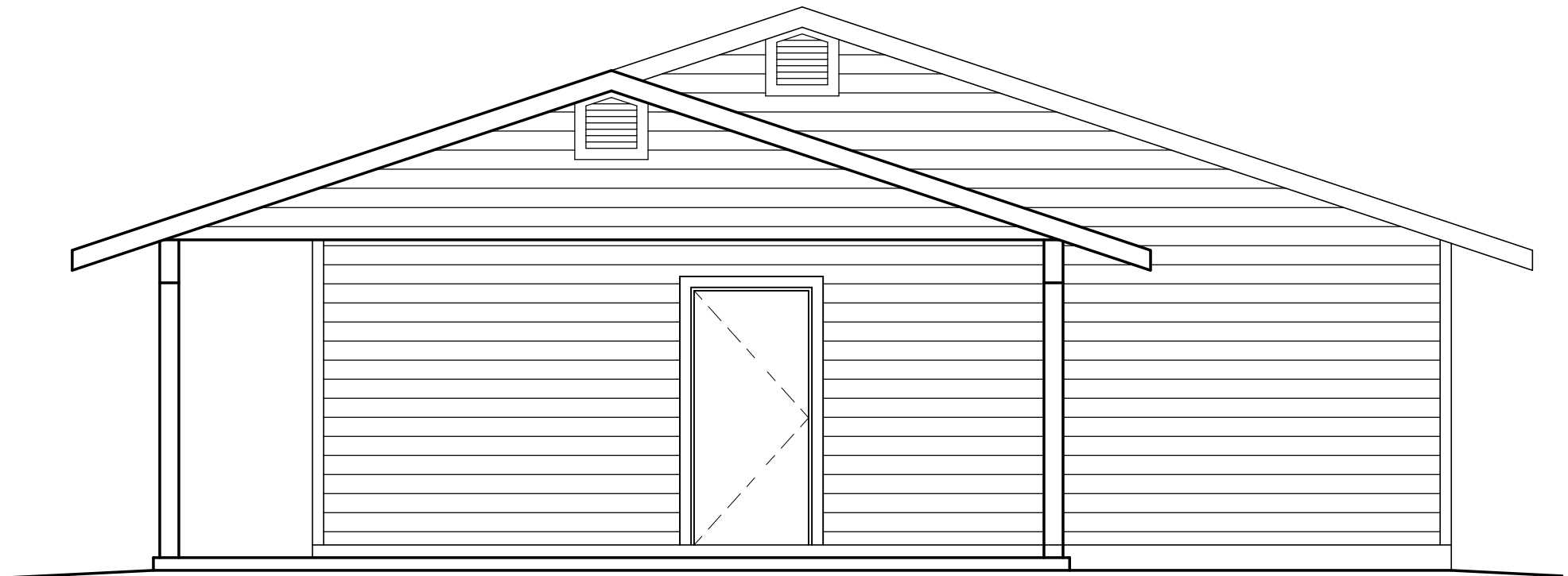
RIGHT SIDE ELEVATION (with optional Garage)

SCALE: 1/4" = 1'-0"

8'-1" OR 9'-1"  
TOP OF PLATE

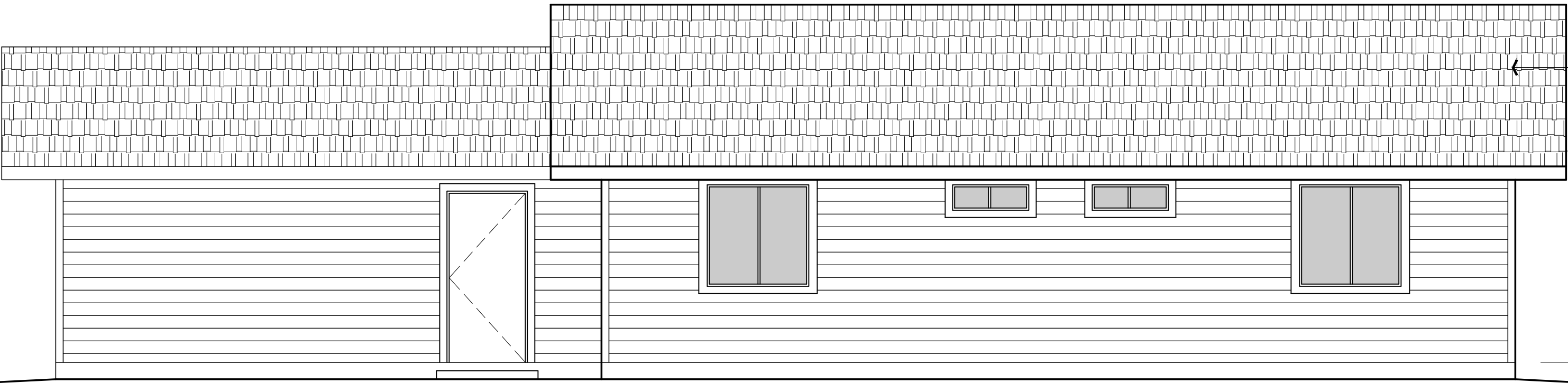
PAINTED 2 X 4 TRIM  
AROUND ALL OPENINGS  
AND OUTSIDE CORNERS

0'-0"  
TOP OF SLAB



RIGHT SIDE ELEVATION (with optional Carport)

SCALE: 1/4" = 1'-0"



REAR ELEVATION (with Garage option)

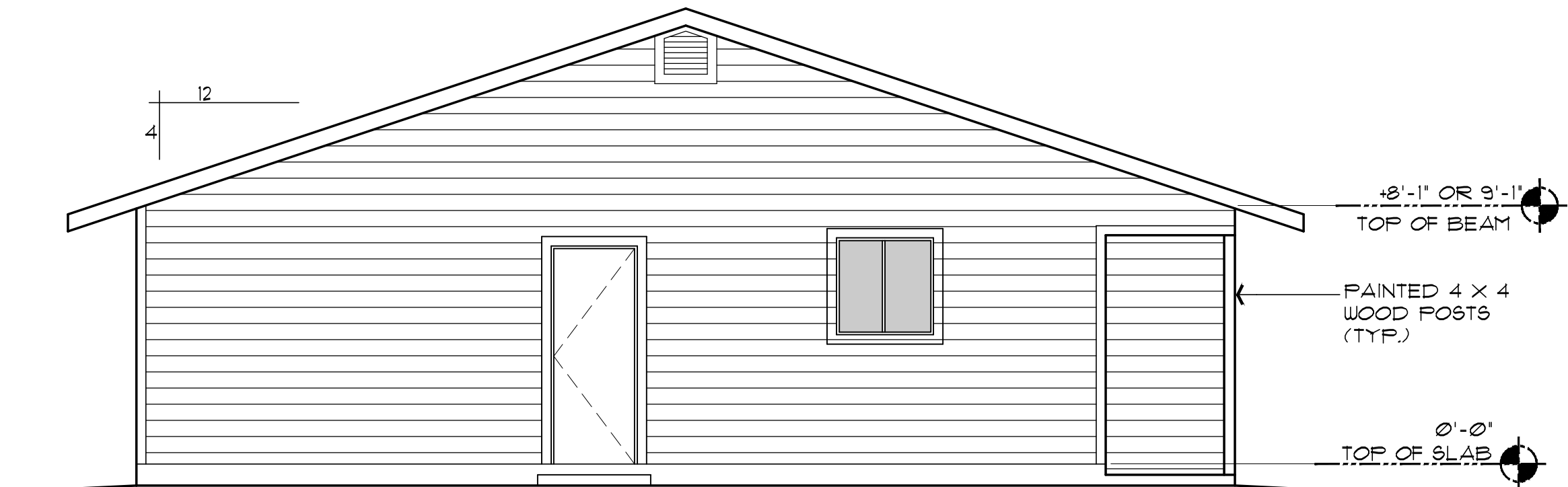
SCALE: 1/4" = 1'-0"

ASHPALT SHINGLES  
OR METAL ROOF PANELS

8'-1" OR 9'-1"  
TOP OF PLATE

4"  
TOP OF SLAB

SEE SHEET A-6.0 FOR SIDING OPTIONS



LEFT SIDE ELEVATION (same for all options)

SCALE: 1/4" = 1'-0"

8'-1" OR 9'-1"  
TOP OF BEAM

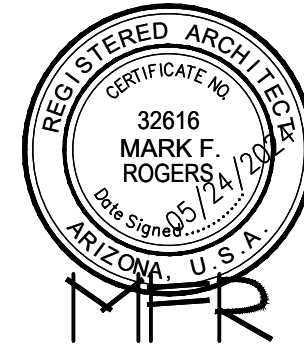
PAINTED 4 X 4  
WOOD POSTS  
(TYP.)

0'-0"  
TOP OF SLAB

Job no. : 2BDRM / 2BATH  
Date : MAY 24, 2024  
Drawn by : MFR  
Chk'd by : MFR  
Scale : AS NOTED  
Revisions:

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EXTERIOR ELEVATIONS  
PHASE TWO - 2 BDRM / 2 BATH - RIGHT PARKING

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

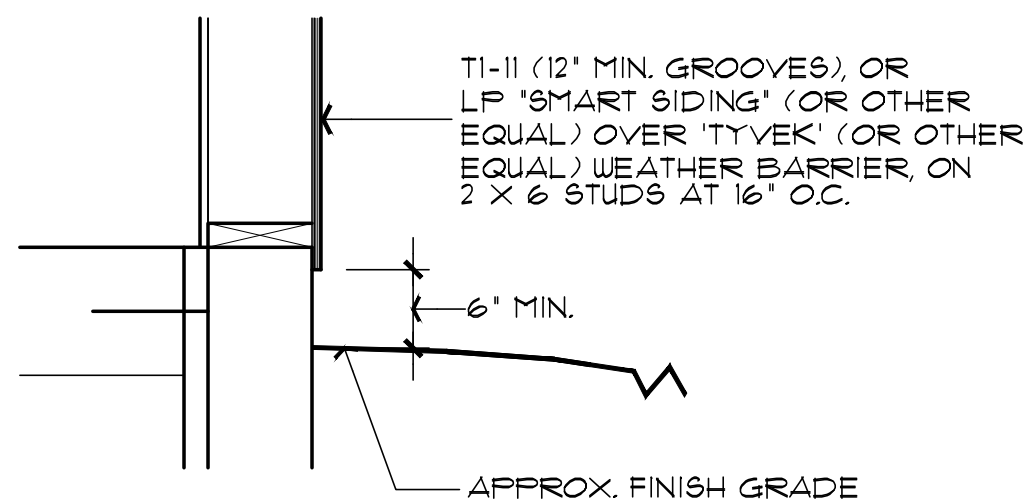
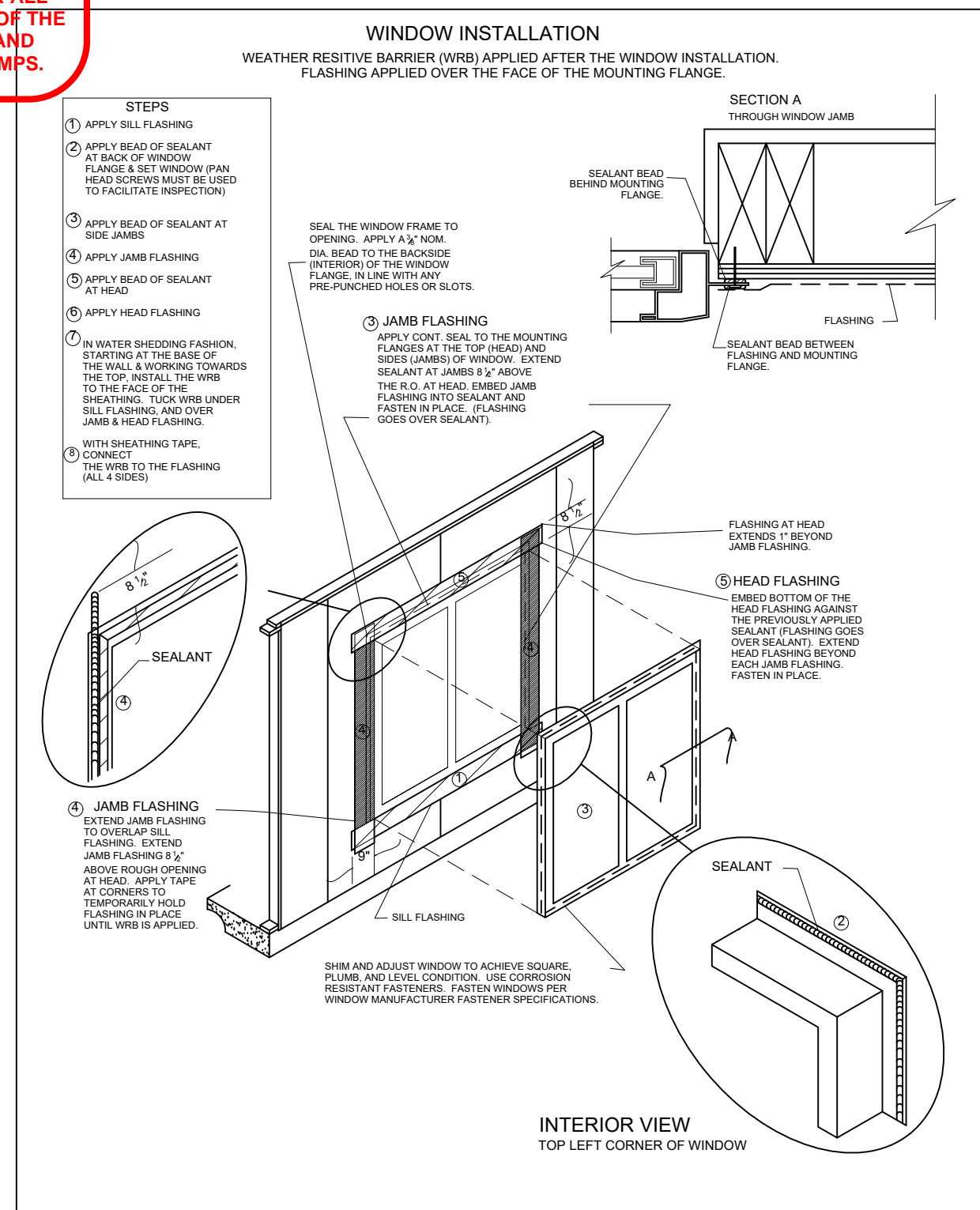
A-5.0

PROPERTY OF YAVAPAI COUNTY, AZ

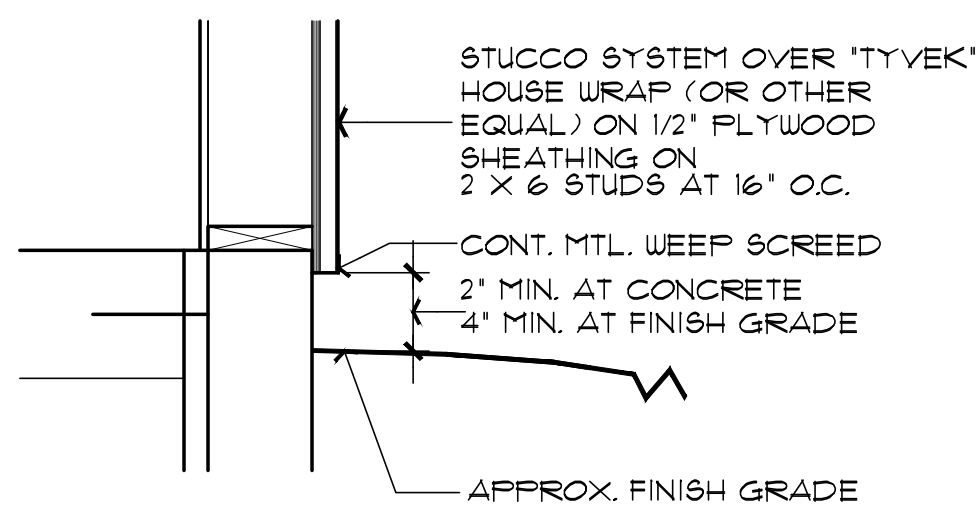
PROPERTY OF YAVAPAI COUNTY, AZ

PROPERTY OF YAVAPAI COUNTY, AZ

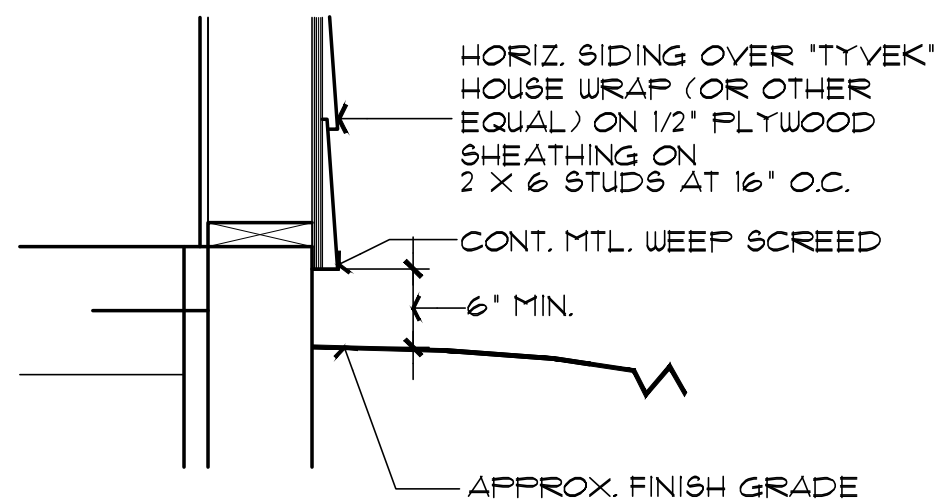




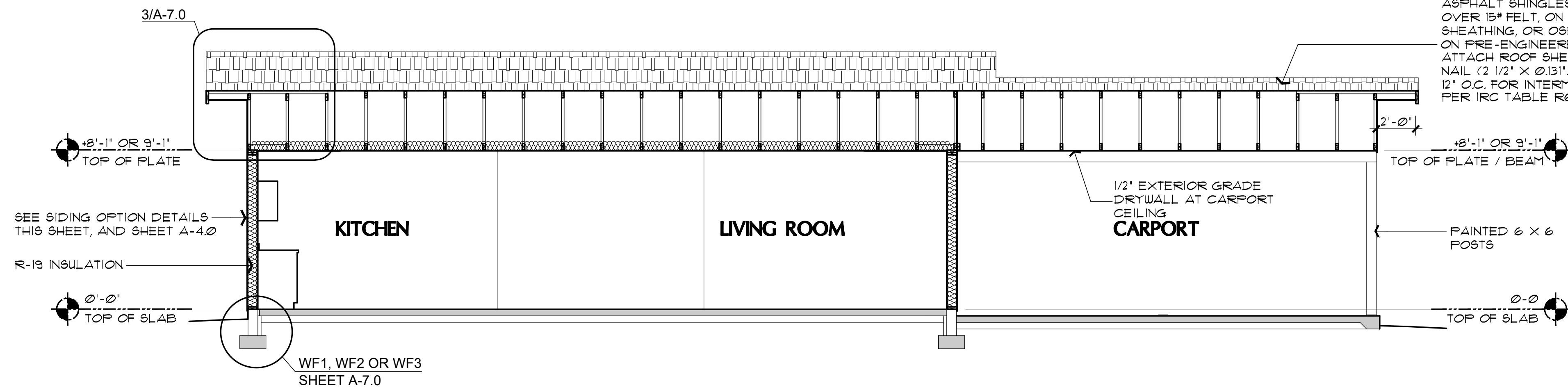
**1 T1-11, OR "SMART SIDING" OPTIONS DETAIL**  
NO SCALE



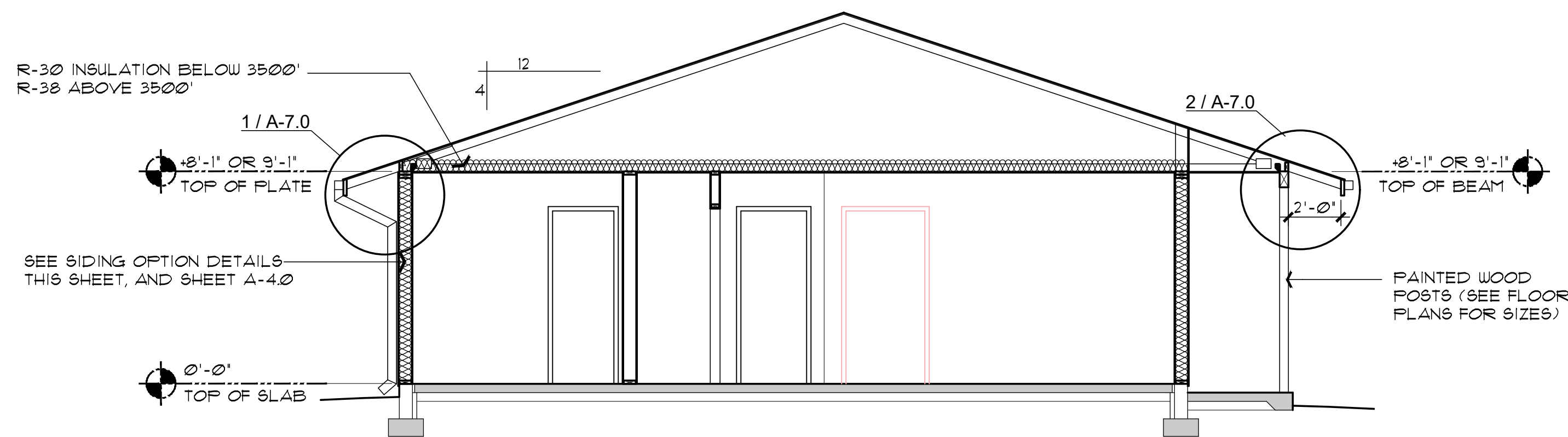
## 2 STUCCO OPTION DETAIL



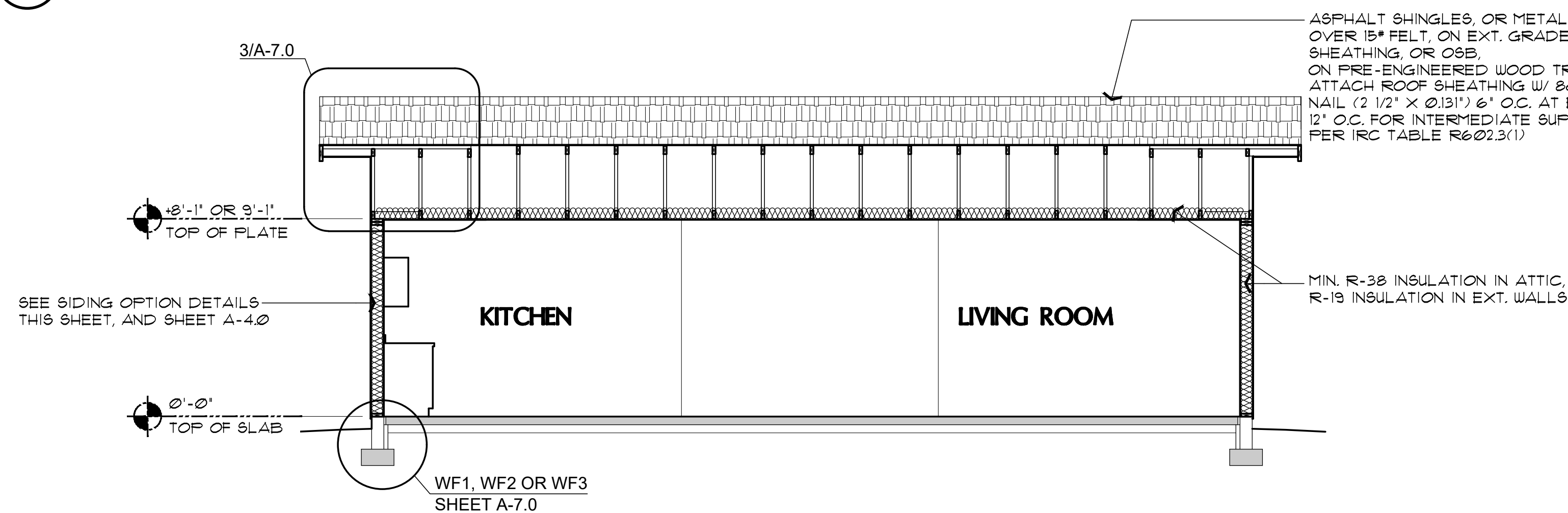
### 3 HORIZ. SIDING OPTION DETAIL



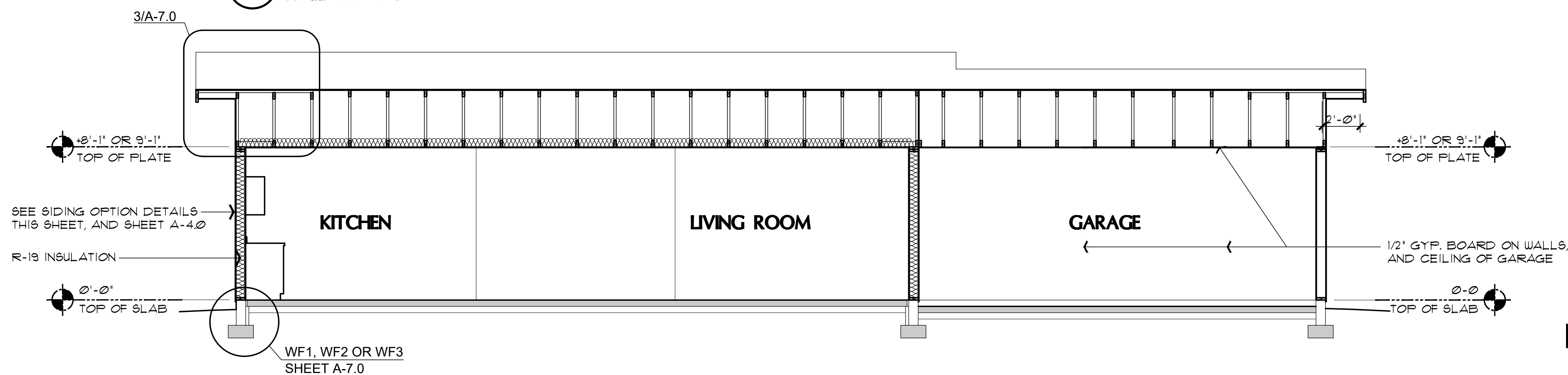
**(A) BUILDING CROSS SECTION (with optional Carport)**  
SCALE: 1/4" = 1'-0"



**B BUILDING CROSS SECTION**  
SCALE: 1/4" = 1'-0"



## C BUILDING CROSS SECTION



**(A) BUILDING CROSS SECTION (with optional Garage)**  
SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES, OR METAL ROOFING,  
OVER 15" FELT, ON EXT. GRADE PLYWOOD  
SHEATHING, OR OSB,  
— ON PRE-ENGINEERED WOOD TRUSSES AT 24' O.C.  
ATTACH ROOF SHEATHING W/ 8d COMMON  
NAIL (2 1/2" X Ø.131") 6" O.C. AT EDGES,  
12" O.C. FOR INTERMEDIATE SUPPORTS,  
PER I.R.C. TABLE R602.3(1)

Job no. : 2BDRM/2BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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**BUILDING SECTIONS**  
**PHASE TWO – 2 BDRM / 2 BATH – RIGHT PARKING**

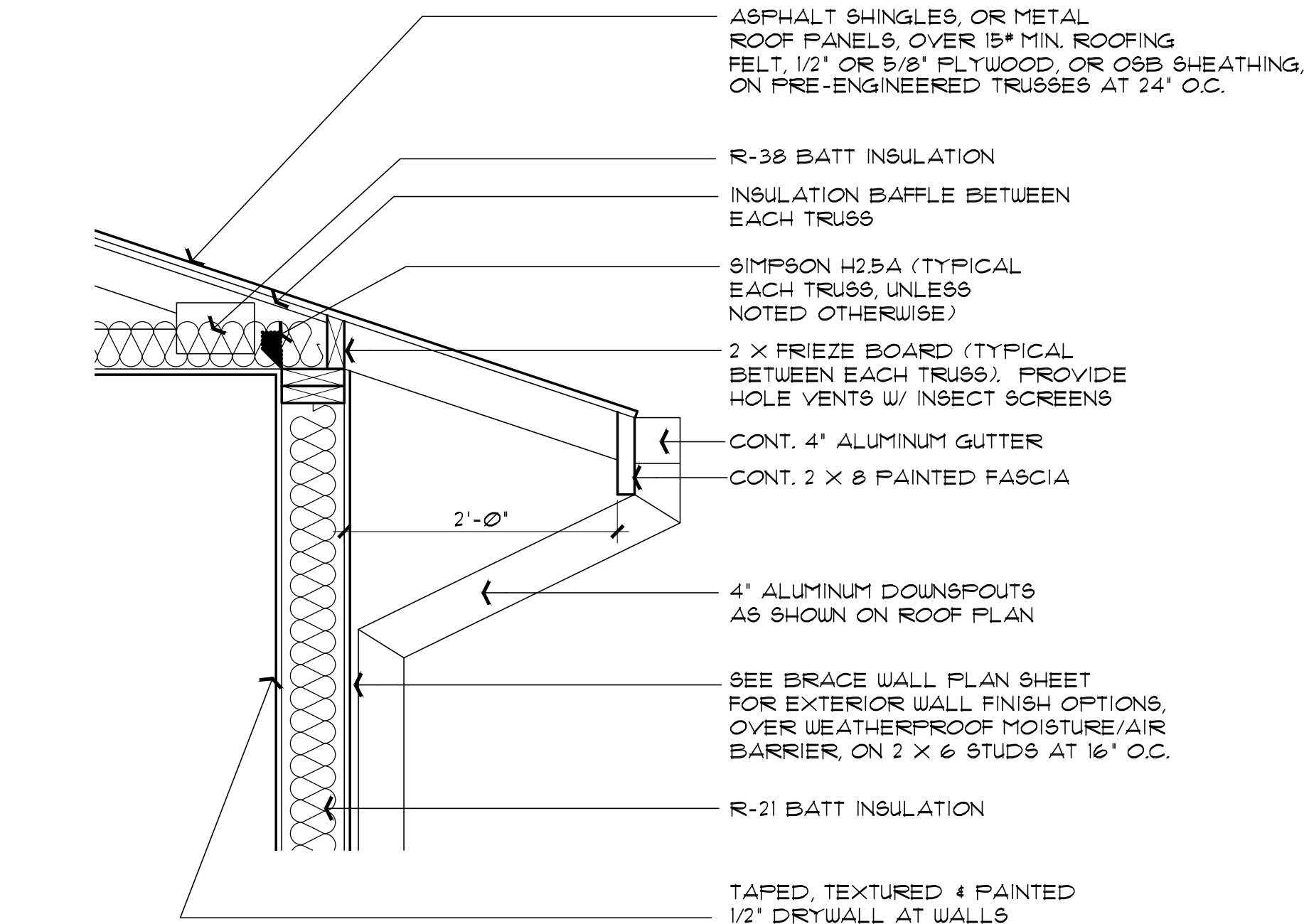
**YAVAPAI COUNTY, ARIZONA**

1015 FAIR STREET  
PRESCOTT, ARIZONA

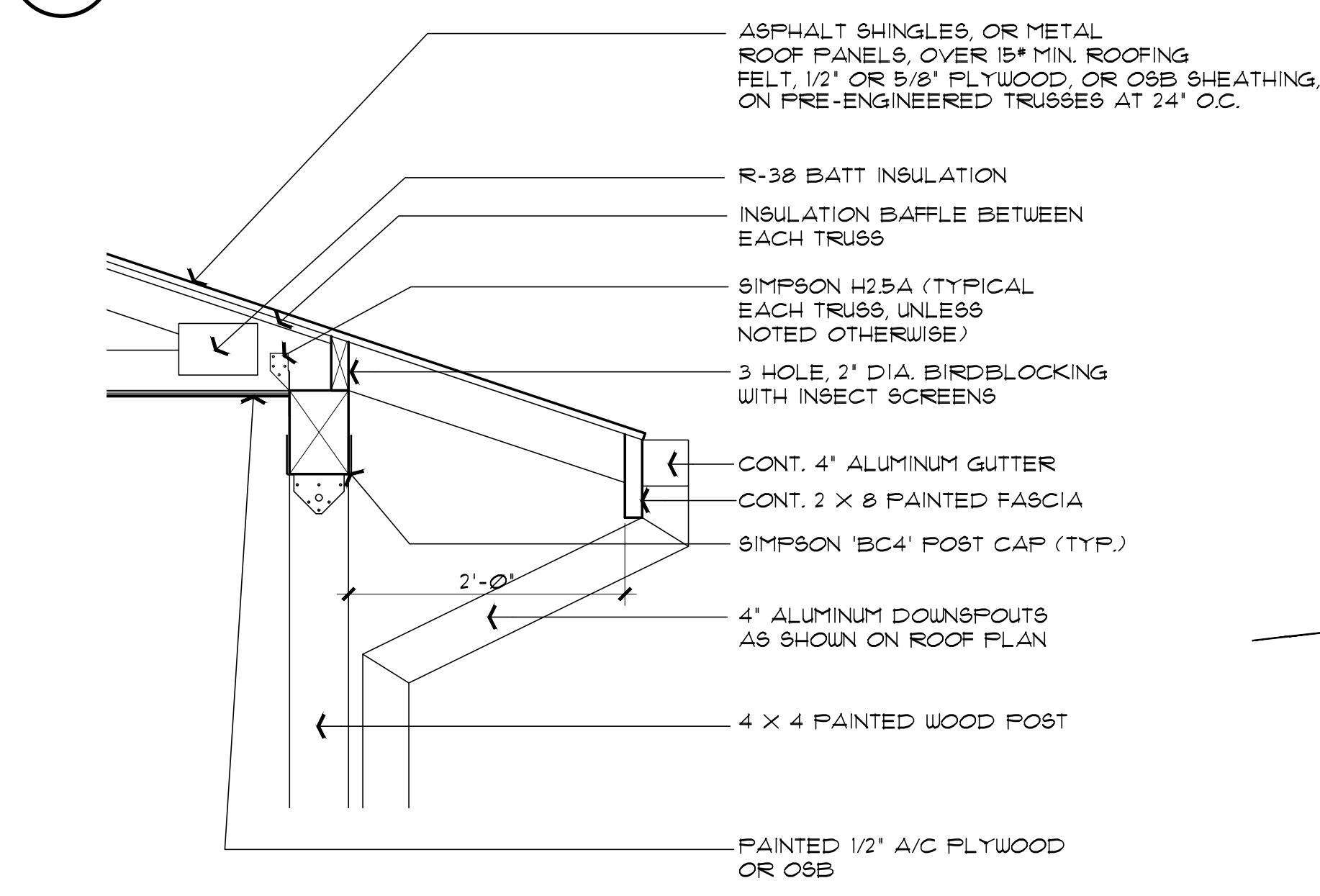
SHEET NO:

## A-6.0



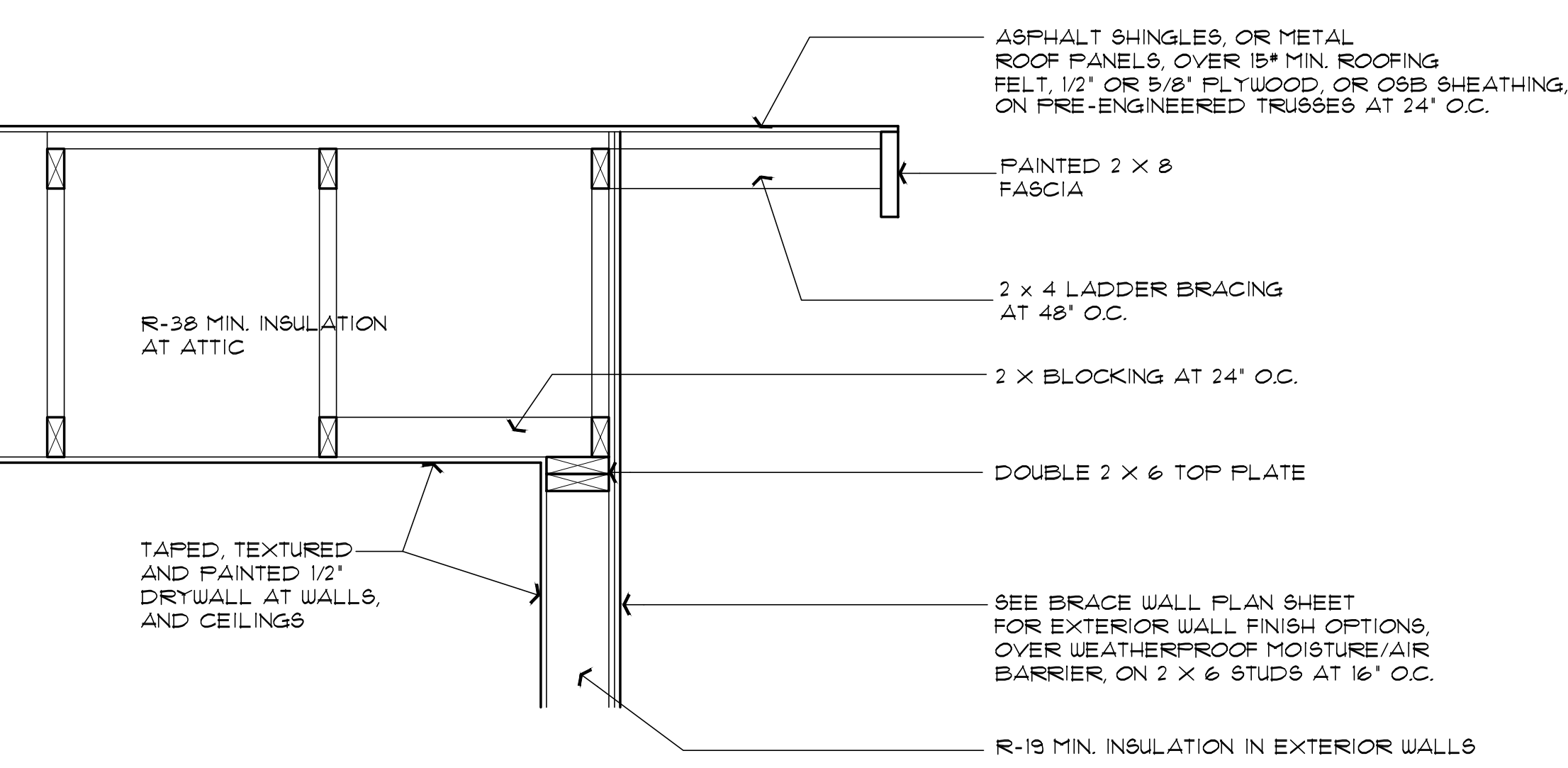


**1 ROOF OVERHANG DETAIL**  
SCALE: 1" = 1'-0"

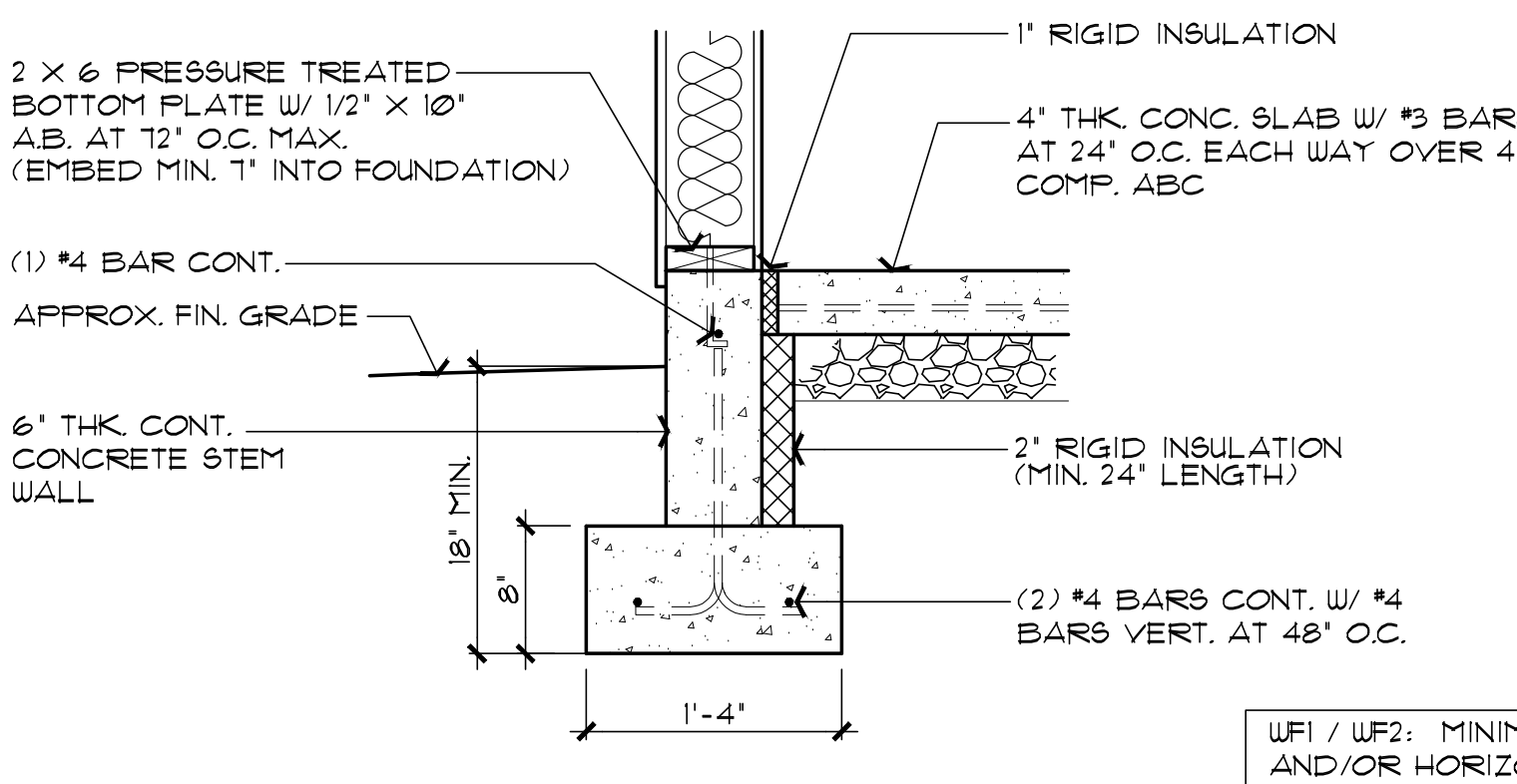


**2 ROOF OVERHANG AT BEAM DETAIL**  
SCALE: 1" = 1'-0"

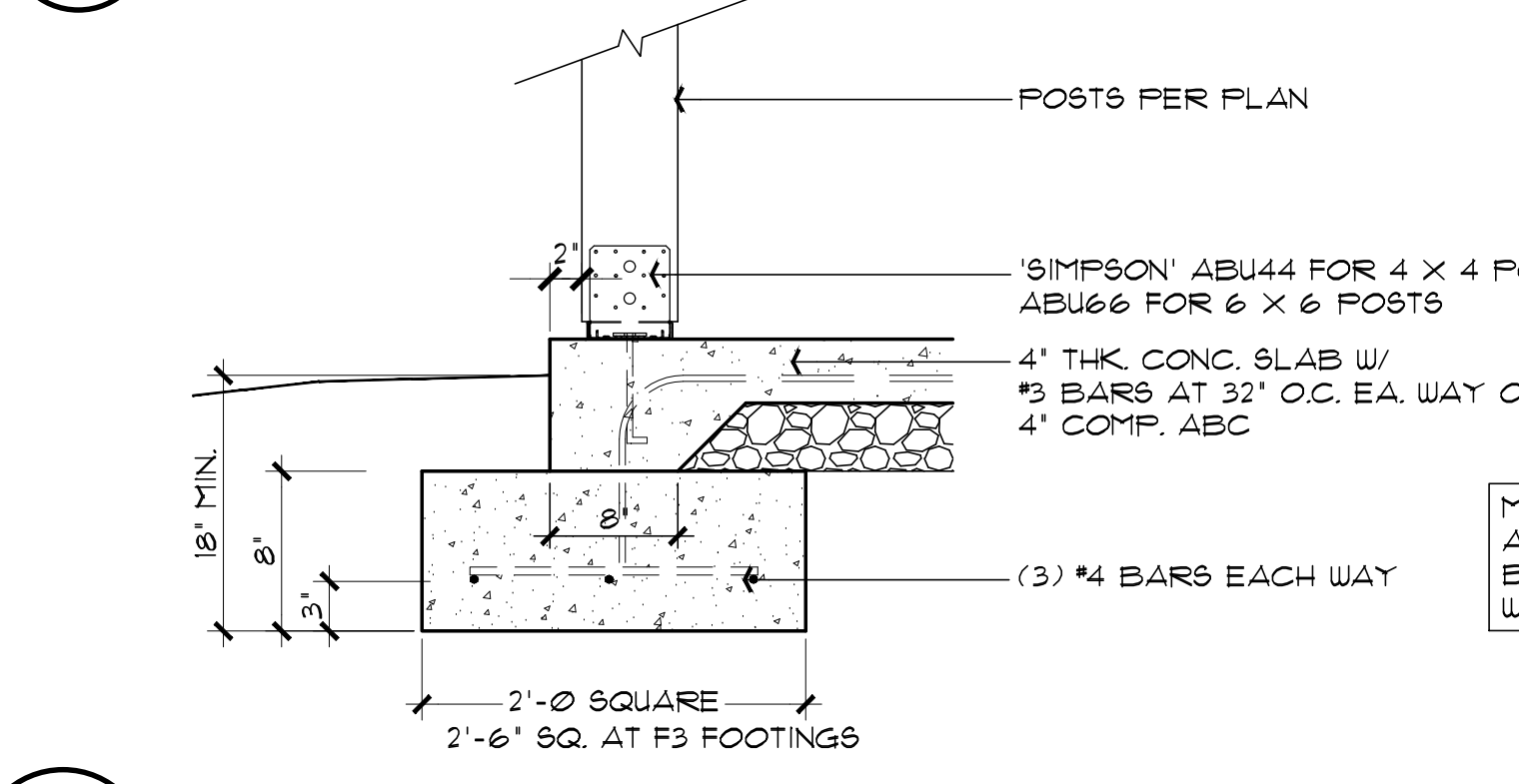
ATTACH ROOF SHEATHING W/ 8d COMMON  
NAIL (2 1/2" X 0.131") 6" O.C. AT EDGES,  
12" O.C. FOR INTERMEDIATE SUPPORTS.  
PER IRC TABLE R602.3(1)



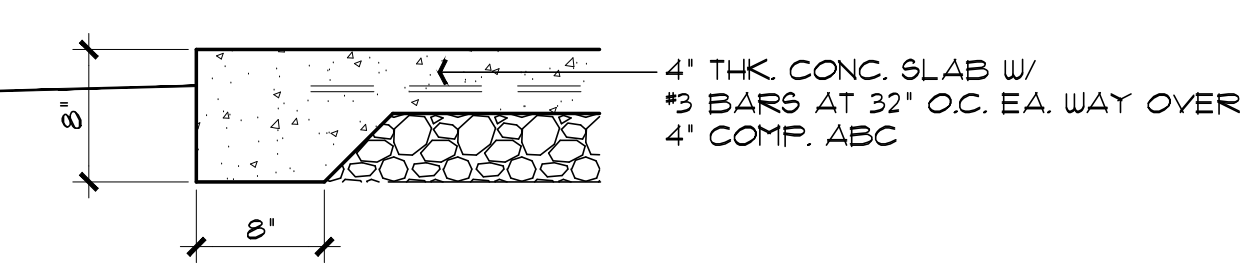
**3 GABLE END-WALL DETAIL**  
SCALE: 1" = 1'-0"



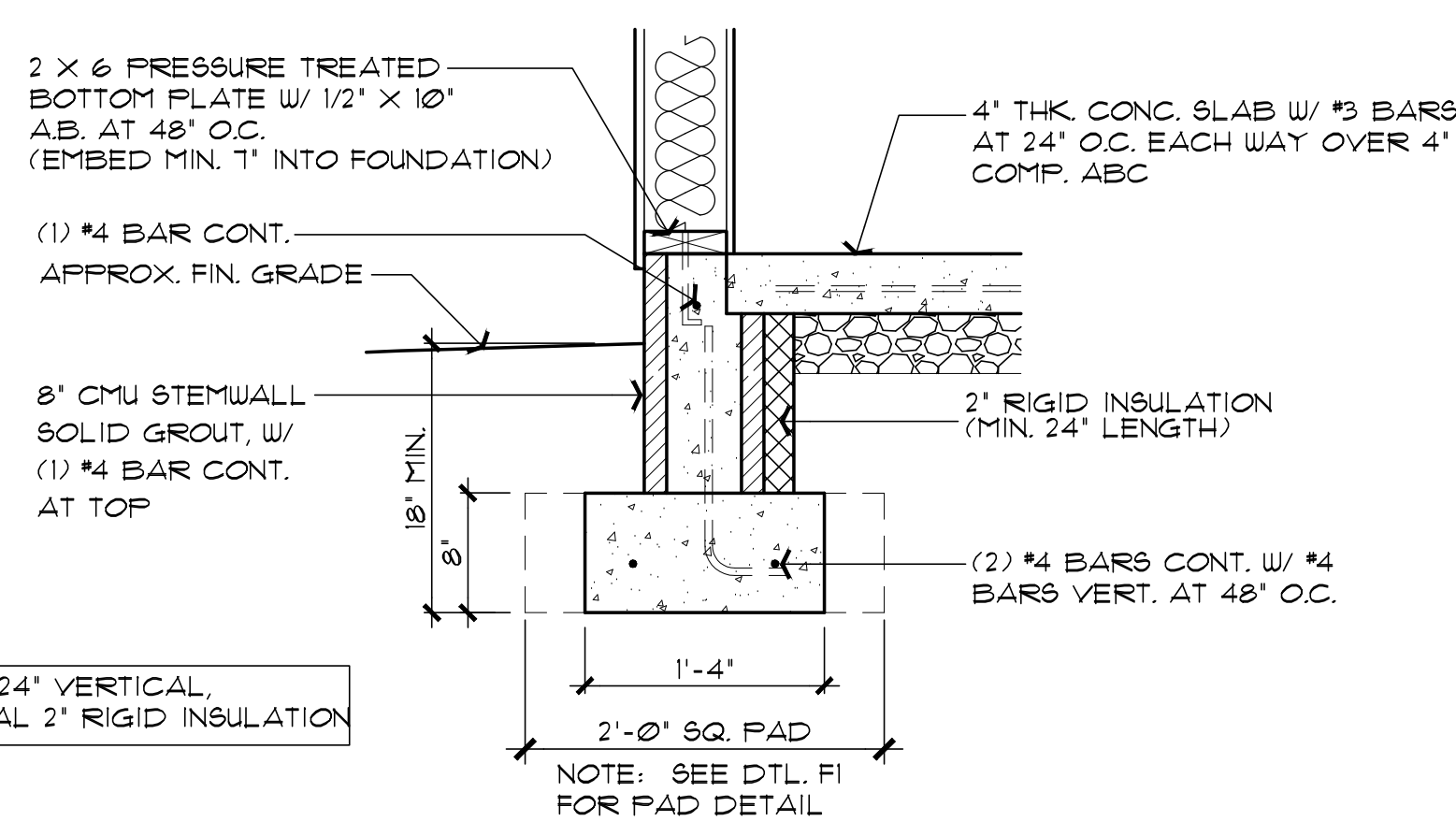
**WF1 CONCRETE STEM WALL OPTION**  
SCALE: 1" = 1'-0"



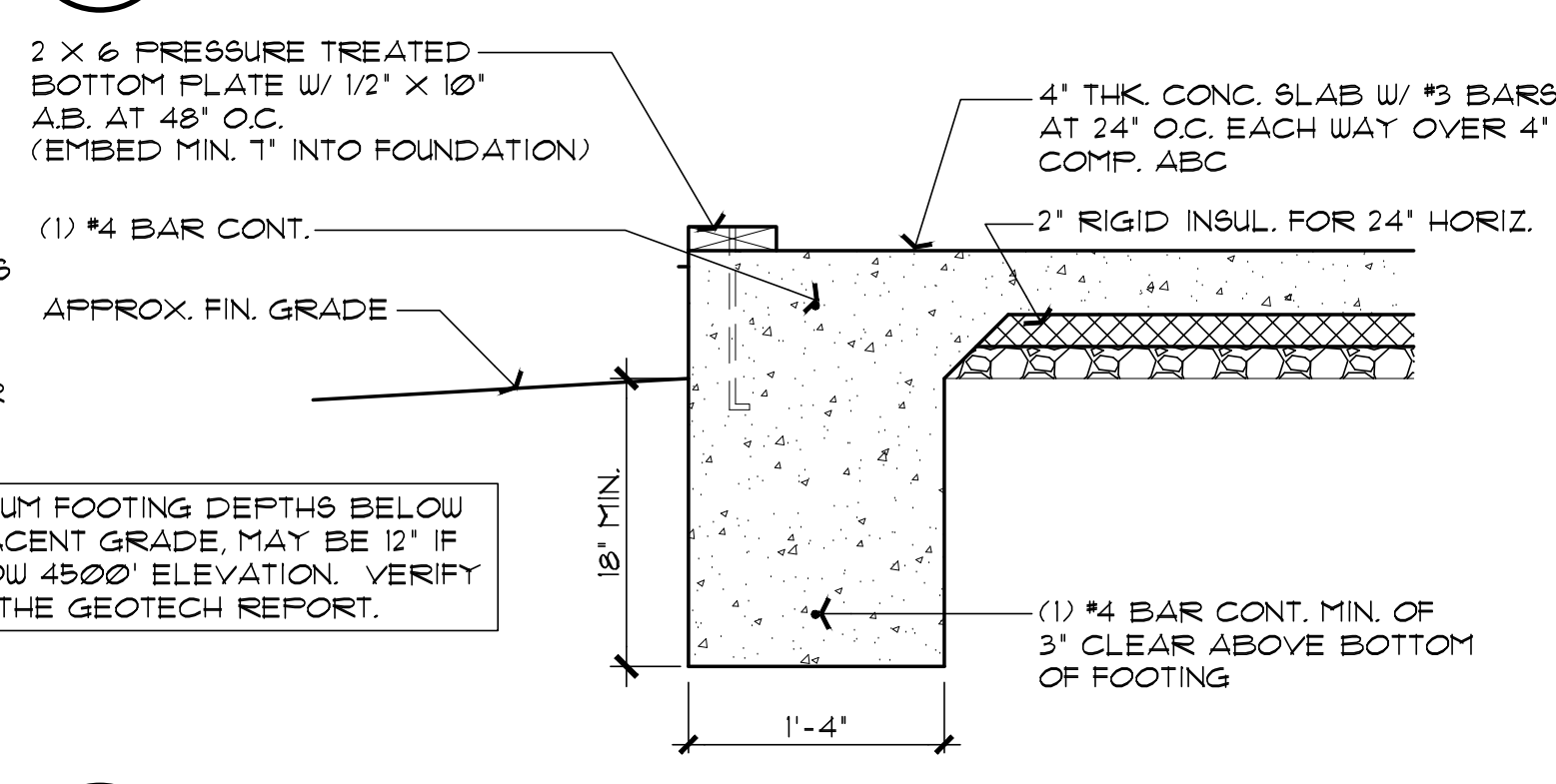
**F1/F3 POST BASE FOOTING**  
SCALE: 1" = 1'-0"



**F2 TYPICAL TURN-DOWN FOOTING**  
SCALE: 1" = 1'-0"

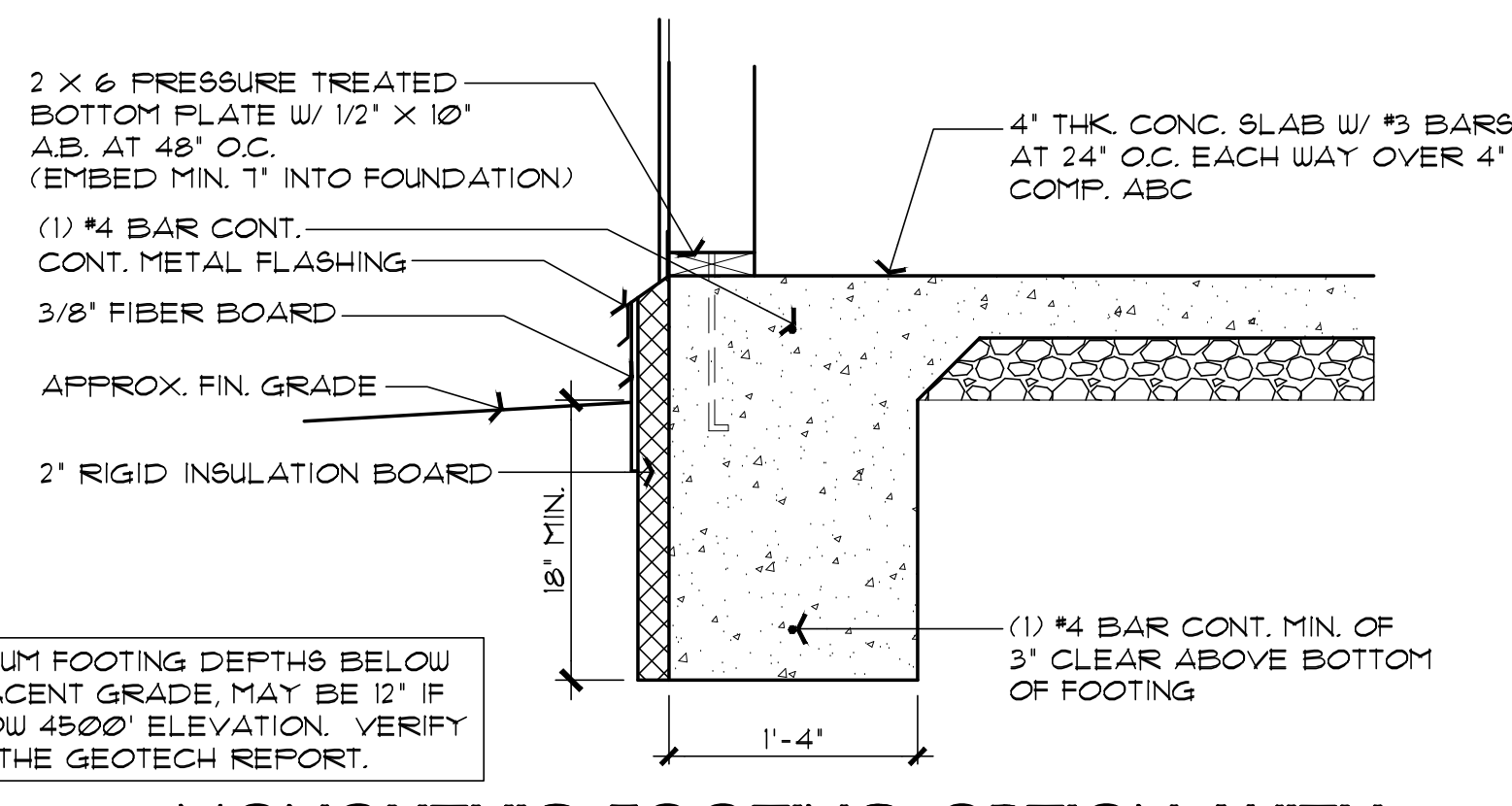


**WF2 CMU STEM WALL OPTION**  
SCALE: 1" = 1'-0"



**WF3 MONOLITHIC FOOTING OPTION**  
SCALE: 1" = 1'-0"

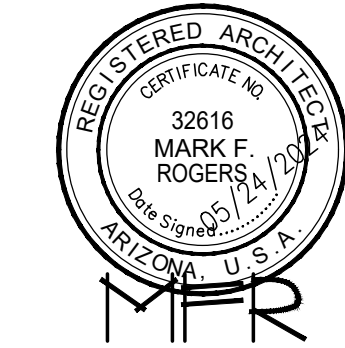
NOTE: SLAB INSULATION MAY BE  
ELIMINATED IF USING WINDOWS WITH  
0.32 U-FACTOR OR BETTER.



**WF4 MONOLITHIC FOOTING OPTION WITH  
EXTERIOR SLAB INSULATION**  
SCALE: 1" = 1'-0"

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FOUNDATION / ROOF DETAILS  
PHASE TWO - 2 BDRM / 2 BATH - RIGHT PARKING

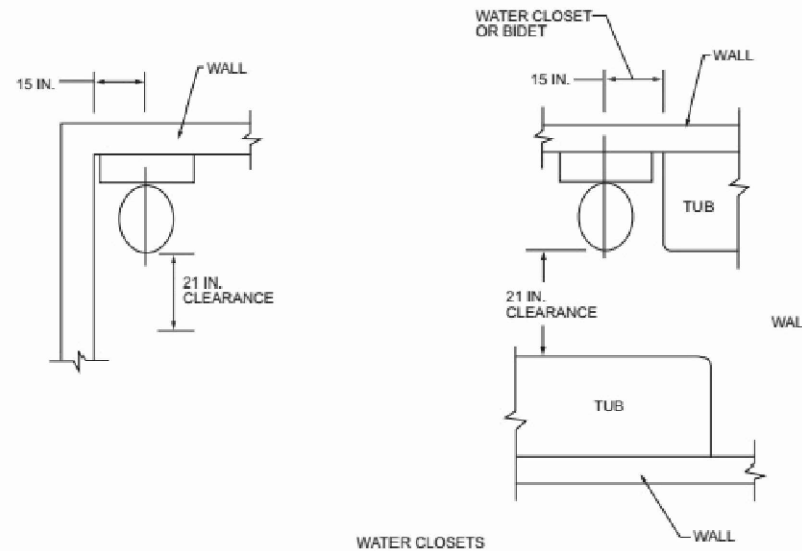
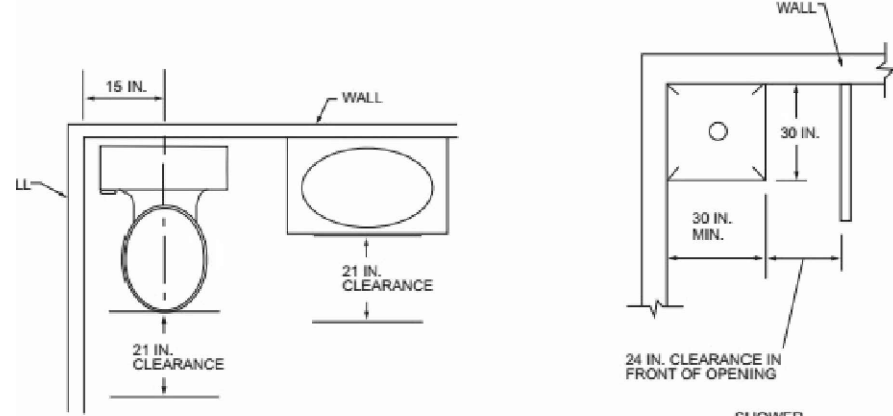
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA



REVIEWED FOR DESIGN  
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OWNER/APPLICANT TO REVIEW AND  
ACKNOWLEDGE APPLICABLE STAMPS.

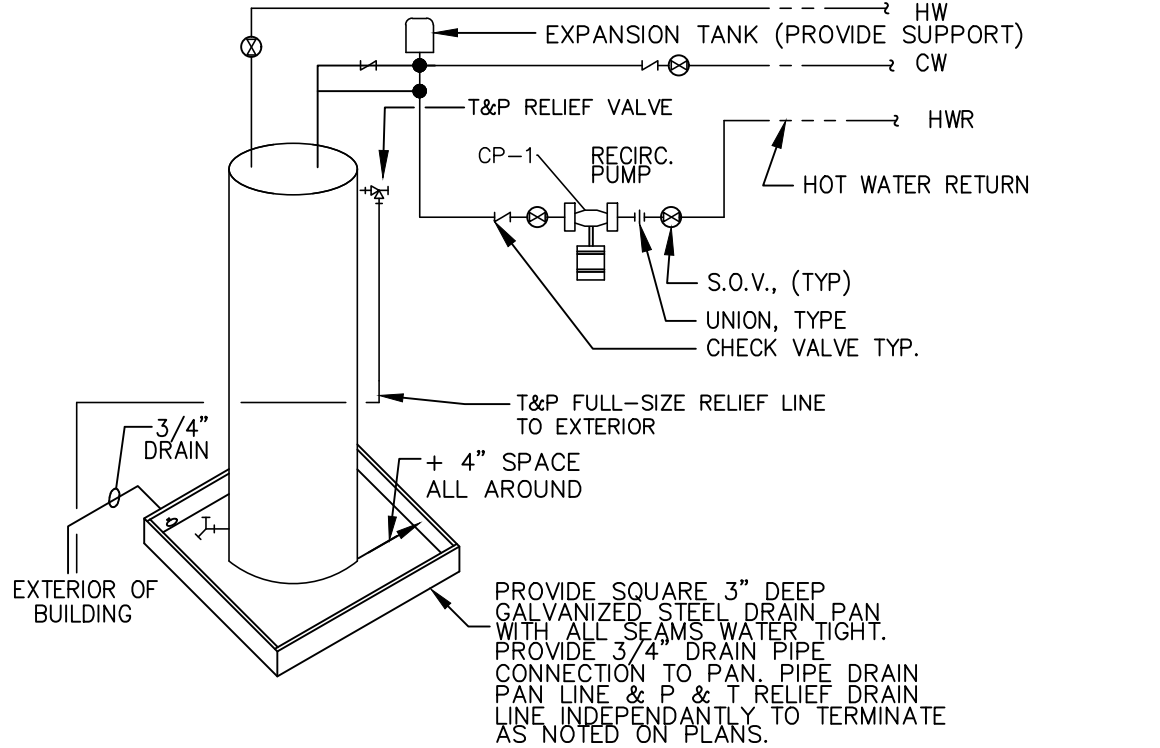


## PLUMBING FIXTURE CLEARANCES

NO SCALE PER IRC FIGURE R307.1

## HVAC/PLUMBING GENERAL NOTES:

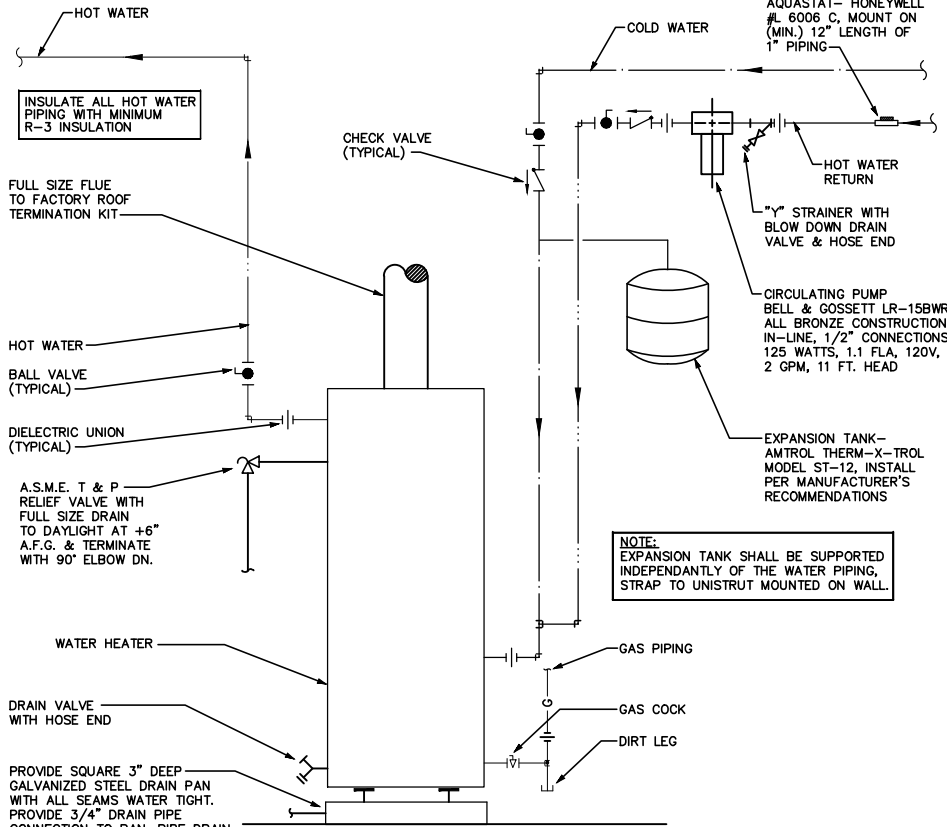
1. THE MECHANICAL CONTRACTOR SHALL DETERMINE THE FINAL EQUIPMENT SIZING, DUCT SIZING, AND DUCT LAYOUT PRIOR TO INSTALLATION.
2. DRAIN AND VENT SIZES TO BE DETERMINED BY PLUMBING CONTRACTOR.
3. WATER HEATER RELIEF VALVE SHALL EXTEND OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2' NOR LESS THAN 6" ABOVE THE GROUND AND POINTING DOWNWARD.
4. PROVIDE A PAN, AND DRAIN FOR THE WATER HEATER.
5. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING. IT SHALL NOT EXCEED 25' IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE.
6. THE SITE PLAN SHALL INDICATE THE LOCATION OF THE GAS SOURCE, THE DISTANCE AND PIPE SIZE FROM THE SOURCE, TO THE RESIDENCE, AND THE TYPE OF FUEL (NATURAL GAS OR PROPANE).
7. BI-FOLD DOOR AT WATER HEATER CLOSET SHALL BE LOUVERED FOR COMBUSTION AIR (MIN. REQUIREMENTS OF 100 SQ. INCHES OF FREE AIR).



## PROVIDE ACCESSABLE ELECTRICAL DISCONNECT ELECTRIC WATER HEATER

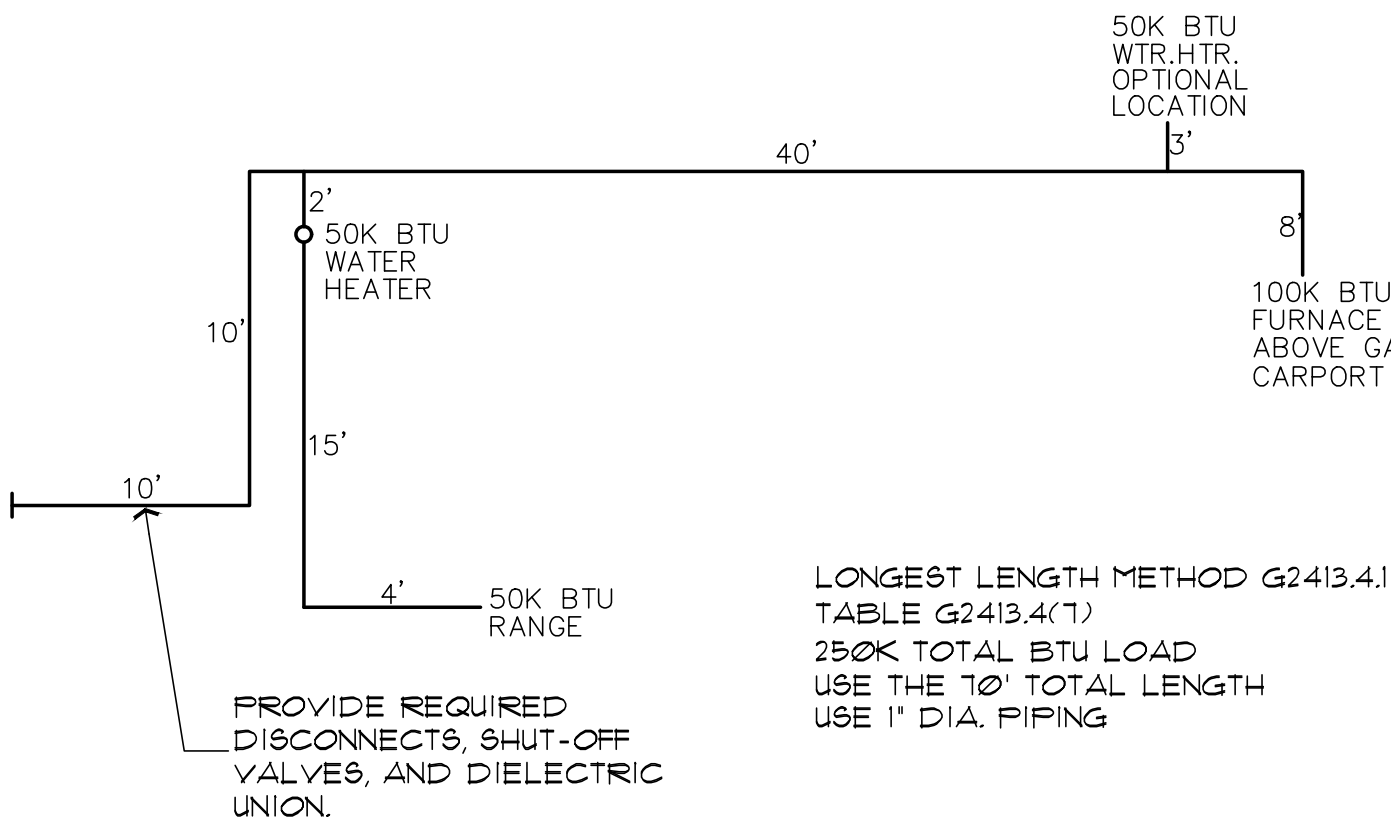
NO SCALE

NOTE: DRAIN PAN, AND T&P MUST DRAIN BY GRAVITY. WATER HEATER SHALL BE HIGH ENOUGH OFF THE FLOOR TO PROVIDE FOR DISCHARGE PIPING TO EXTERIOR.



## GAS WATER HEATER OPTION

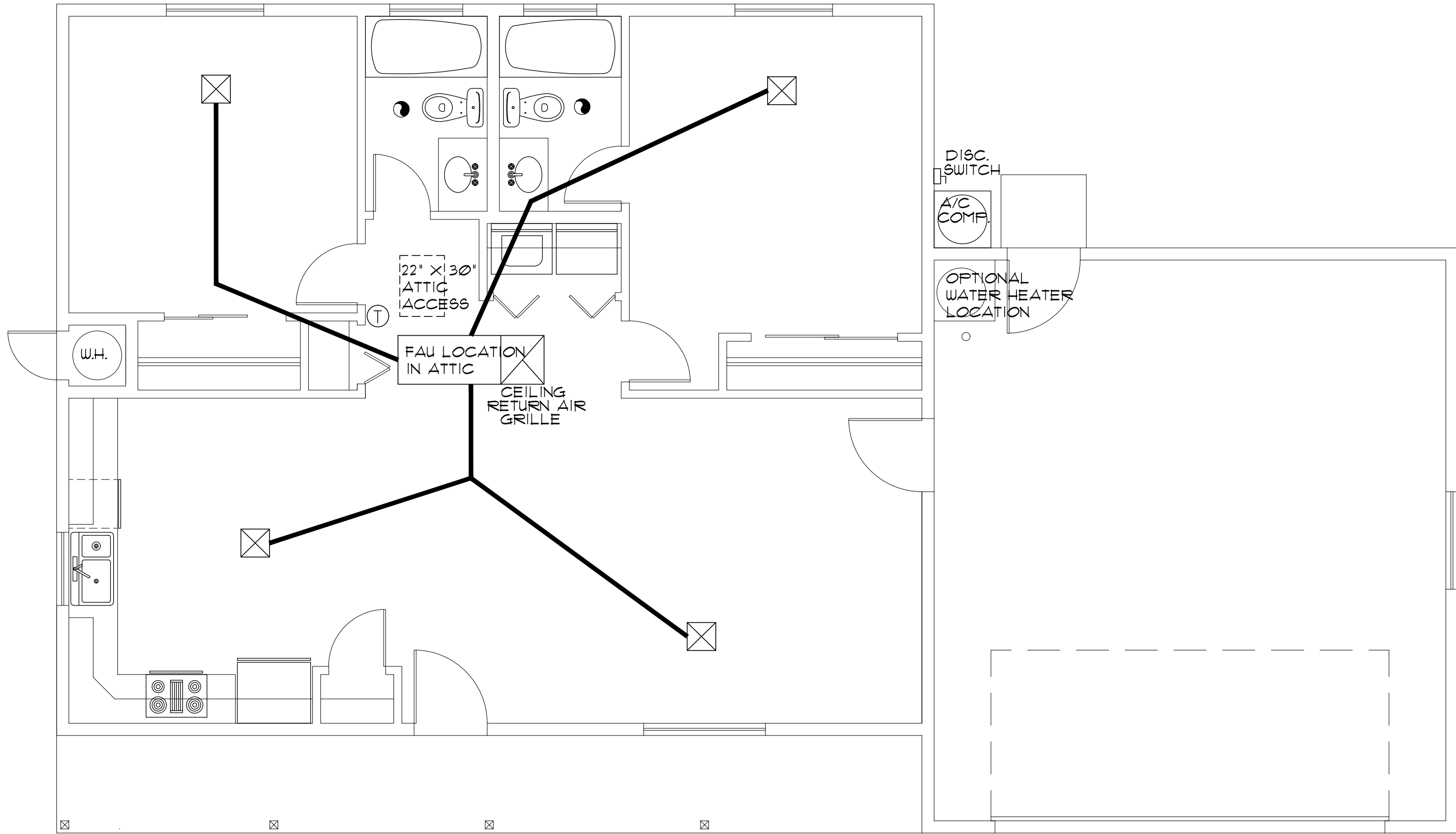
NO SCALE



## GAS PIPING ISOMETRIC

NO SCALE

NOTE: USE 1" DIA. PIPING FOR ALL FLOOR PLAN LAYOUTS, INCLUDING. ALTERNATE FIXTURE LOCATIONS. THE PLUMBING CONTRACTOR SHALL SHALL VERIFY ALL SIZING, AND FITTINGS, PRIOR TO INSTALLATION.



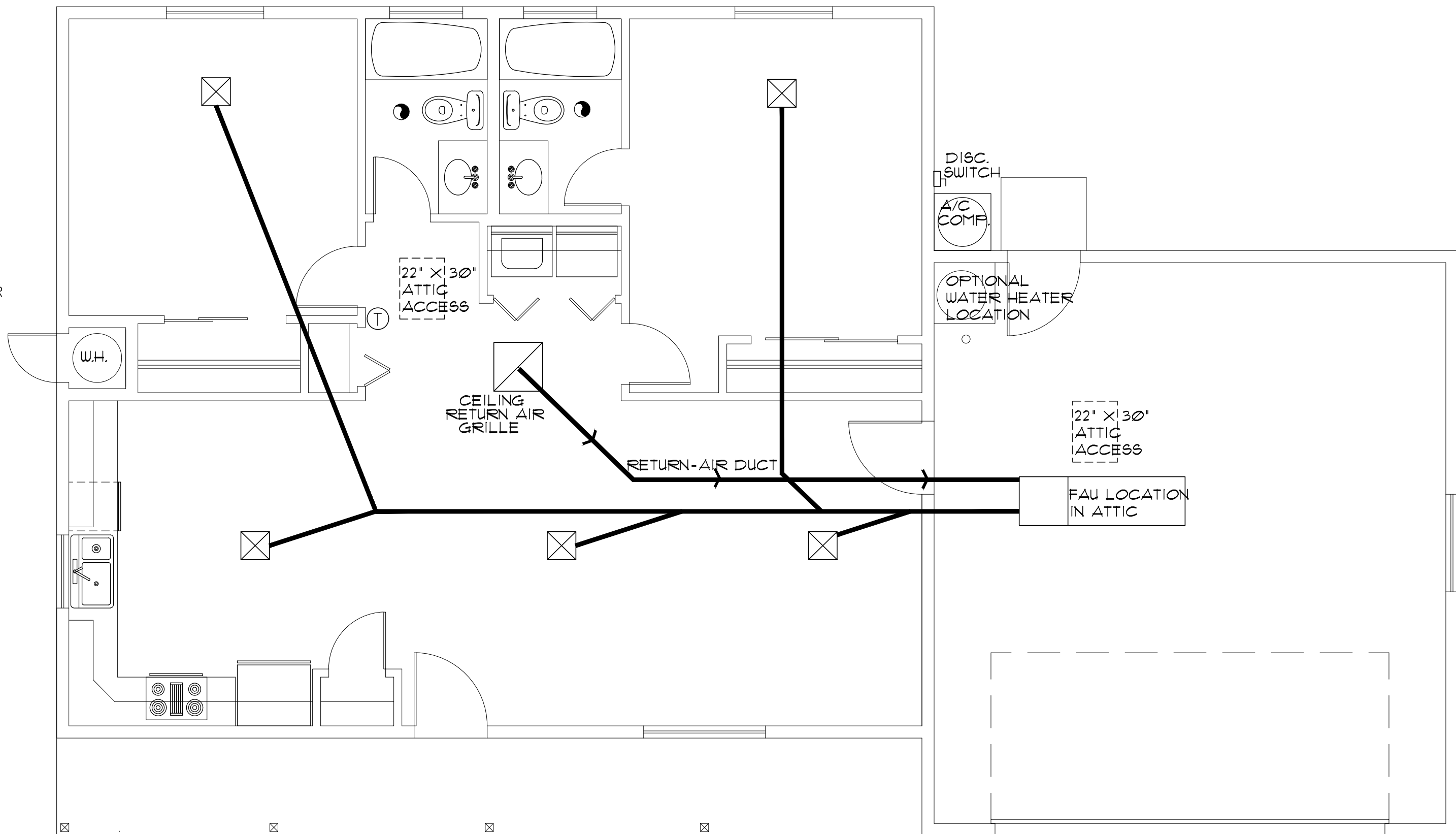
## HVAC PLAN (furnace in attic above habitable area)

SCALE: 1/4" = 1'-0"

☒ SUPPLY-AIR GRILL

☒ RETURN AIR GRILL

① THERMOSTAT



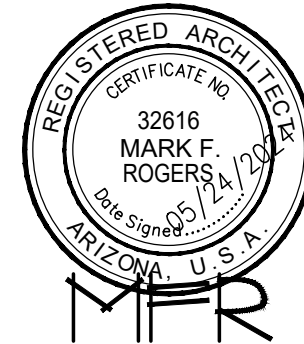
## HVAC PLAN (furnace in attic above Garage, or Carport)

SCALE: 1/4" = 1'-0"

Job no. : 2BDRM/2BATH  
Date : MAY 24, 2024  
Drawn by: MFR  
Chk'd by: MFR  
Scale : AS NOTED  
Revisions:

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761 Highland Circle

MECHANICAL PLANS

DETAILS / NOTES

PHASE TWO - 2 BDRM / 2 BATH - RIGHT PARKING

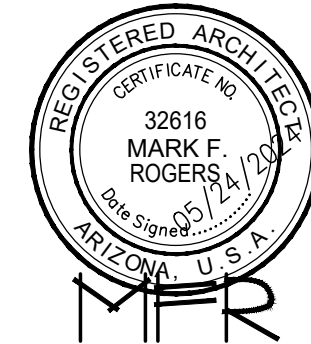
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

M-1.0





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Chino Valley, Arizona 86323  
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ELECTRICAL PLAN  
SYMBOL SCHEDULE / NOTES  
PHASE TWO - 2 BDRM / 2 BATH - RIGHT PARKING  
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET  
PRESCOTT, ARIZONA

SHEET NO:

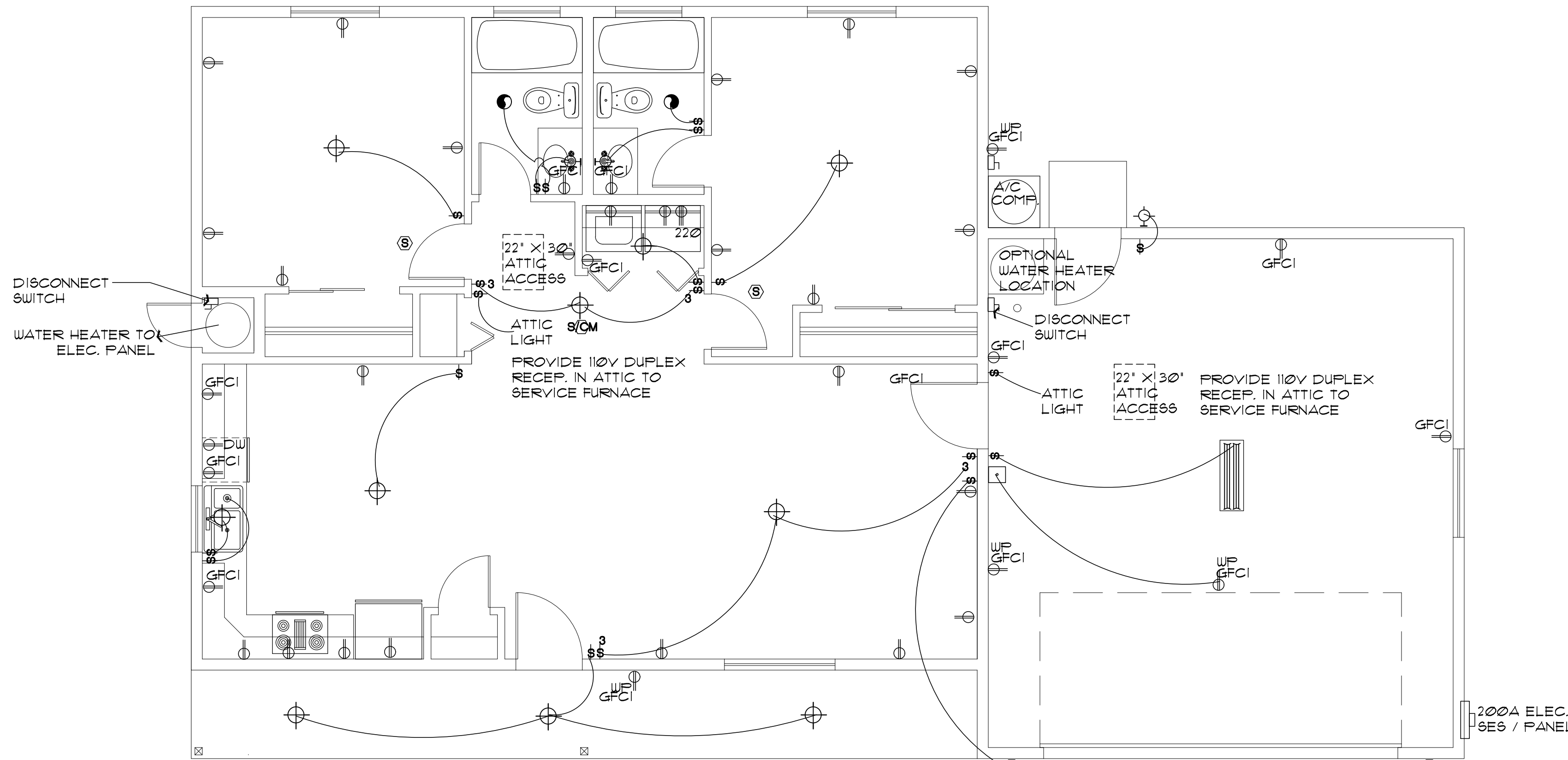
E-1.0

## ELECTRICAL SYMBOLS

- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- DAMP-PROOF CEILING MOUNTED LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- RECESSED CAN FIXTURE
- 1' X 4' SURFACE MTD. FLUORESCENT FIXTURE
- 110V. DUPLEX CONVENIENCE OUTLET MOUNTED 12" AFF. OR AS NOTED
- 110V. 4-FLEX CONVENIENCE OUTLET MOUNTED 12" AFF. OR AS NOTED
- GFCI GROUND-FAULT INTERRUPT
- WUP GFCI WEATHER-PROOF GROUND-FAULT INTERRUPT
- 220V RECEPTACLE
- SINGLE POLE SWITCH MOUNTED AT 48" OR AS NOTED
- 3-WAY SINGLE POLE SWITCH MOUNTED AT 48" OR AS NOTED
- CEILING EXHAUST FAN
- SMOKE DETECTOR
- 8/CM SMOKE DETECTOR / CARBON MONOXIDE COMBO
- CABLE TV OUTLET
- CEILING FAN W/ LIGHT KIT
- DOORBELL BUTTON
- TELEPHONE OUTLET
- INTERNET OUTLET

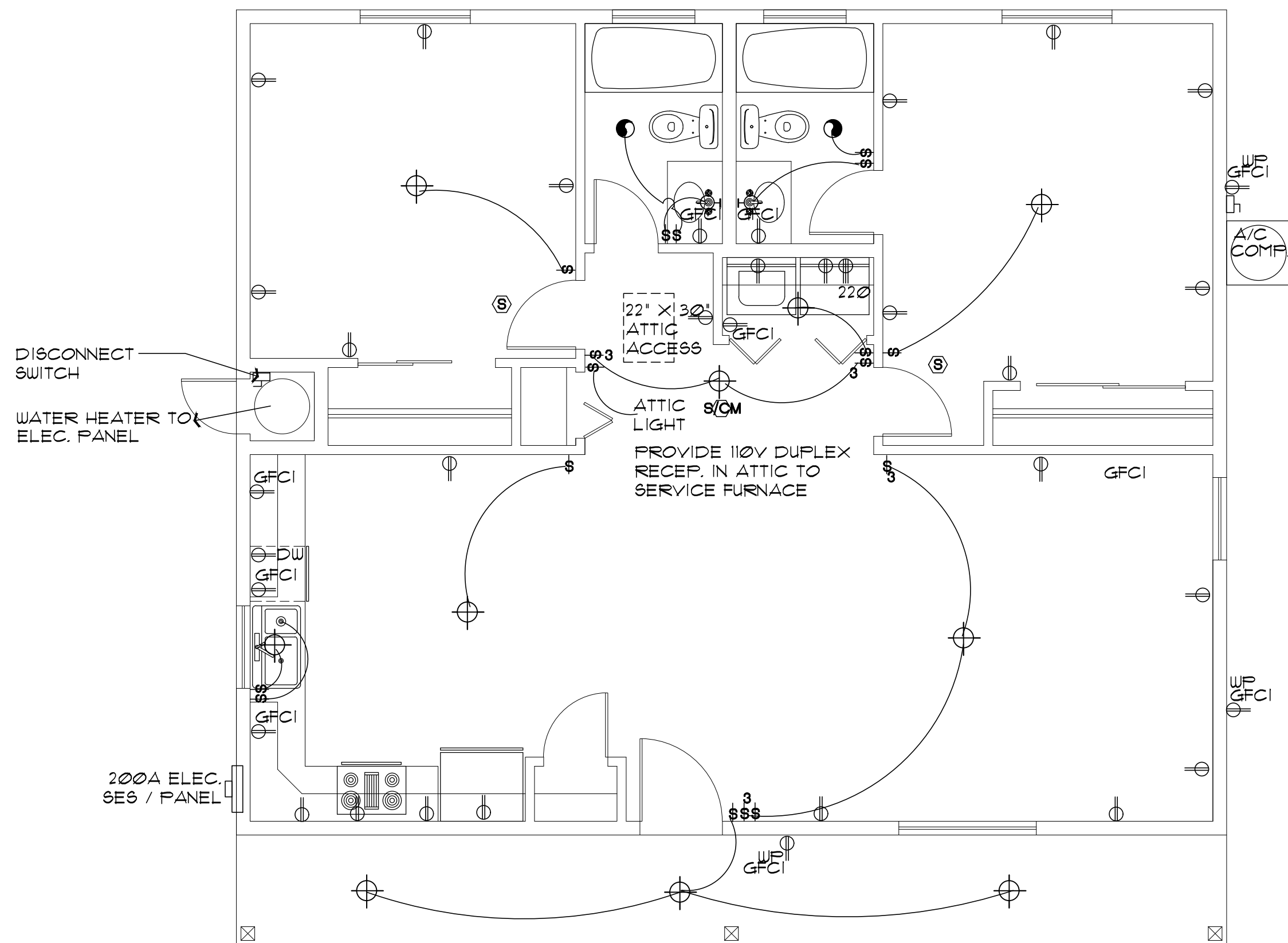
## ELECTRICAL GENERAL NOTES

- ALL WORKMANSHIP, MATERIALS, AND METHODS SHALL CONFORM TO N.E.C.: 2017 EDITION.
- ALL HABITABLE ROOMS SHALL BE PROVIDED W/ ELECTRICAL OUTLETS SO THAT NO PART OF THE WALL IS MORE THAN 6' FROM AN OUTLET. WALL SECTIONS 2' OR LARGER 4 KITCHEN COUNTERS WIDER THAN 12" SHALL BE SERVICED BY A RECEPTACLE.
- ALL RECEPTALS IN BATHROOMS, OUTSIDE 4 WITHIN 6' OF WATER SOURCE SHALL BE GFCI.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED ON SEPARATE CIRCUIT 4 SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING 4 SHALL HAVE BATTERY BACKUP. CONNECT NEW SMOKE DETECTORS TO NEW AUDIBLE SYSTEM INSIDE EXISTING RESIDENCE.
- LIGHTS IN CLOSETS SHALL BE 18" FROM SHELVING (MEASURED HORIZT. OR BE RECESSED).
- PROVIDE MINIMUM TWO 20A BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, EATING AREA, A SEPARATE 20A BRANCH CIRCUIT TO THE LAUNDRY EQUIP, AND A SEPARATE 20A BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15 4 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTERS INSTALLED TO PROVIDE PROTECTION OF THE
- FIXTURES, FITTINGS, BOXES AND RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL BE 'LISTED' TO BE SUITABLE FOR SUCH CONDITIONS.
- CONTRACTOR TO EMBED 20' OF #4 AWG COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND. PROVIDE BONDING TO THE INTERIOR WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEM.
- IN KITCHEN AND DINING ROOMS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12' OR WIDER SO THAT AT NO POINT ALONG THE WALL IS MORE THAN 24" FROM A RECEPTACLE OUTLET AND SHALL BE GFCI PROTECTED.
- PROVIDE AT LEAST ONE WEATHER PROOF RECEPTACLE OUTLET NOT MORE THAN 6'-6" ABOVE GRADE AND GFCI PROTECTED AT THE FRONT AND BACK OF EACH DUELLING. ALL RECEPTACLES INSTALLED OUTDOORS MUST BE GFCI PROTECTED.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO YAVAPAI COUNTY DARK SKY ORDINANCE.
- IN ATTICS, A SERVICE OUTLET 4 LIGHTING FIXTURE LOCATED NEAR THE APPLANCE REQUIRING SERVICE SHALL BE CONTROLLED BY A SWITCH AT THE ENTRY OF THE ATTIC. (REQUIRED FOR ATTIC MOUNT FURNACES)



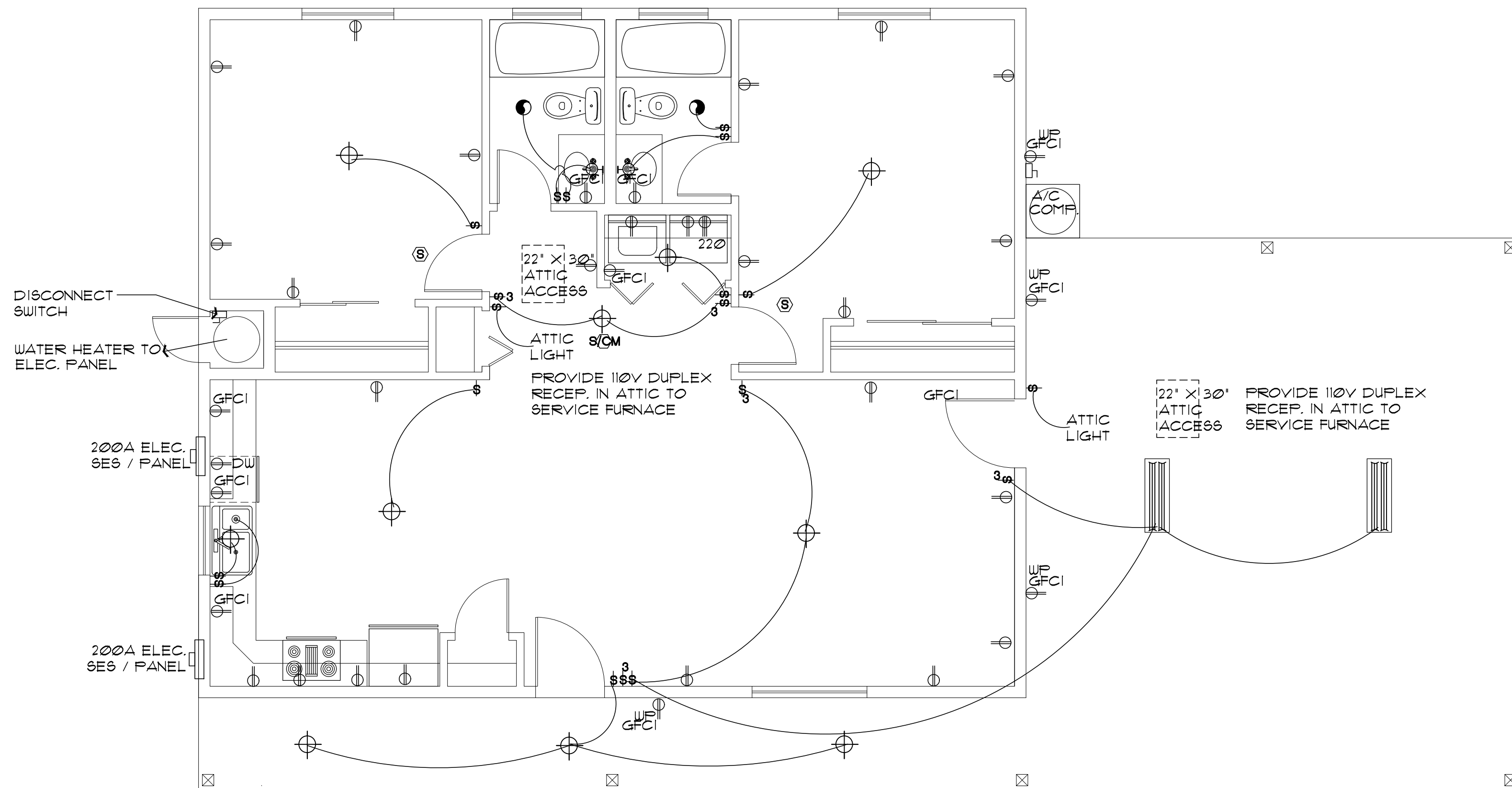
## ELECTRICAL PLAN (with Garage option)

SCALE: 1/4" = 1'-0"



## ELECTRICAL PLAN (without Garage, or Carport option)

SCALE: 1/4" = 1'-0"



## ELECTRICAL PLAN (with Carport option)

SCALE: 1/4" = 1'-0"